

## **ITEM NUMBER: 18.2**

### **CONFIDENTIAL REPORT**

#### **FINAL DESIGNS – CHAPEL STREET PLAZA & HINDMARSH LANE**

*Pursuant to Section 83(5) of the Local Government Act 1999 the Report attached to this agenda and the accompanying documentation is delivered to the Council Members upon the basis that the Council consider the Report and the documents in confidence under Part 3 of the Act, specifically on the basis that Council will receive, discuss or consider:*

- b. Information the disclosure of which could reasonably be expected to confer a commercial advantage on a person with whom the council is conducting, or proposing to conduct, business, or to prejudice the commercial position of the council; and would, on balance, be contrary to the public interest.**

**Recommendation – Exclusion of the Public – Section 90(3)(b) Order**

- 1** That pursuant to Section 90(2) of the *Local Government Act 1999* Council hereby orders that the public be excluded from attendance at this meeting with the exception of the Chief Executive Officer and Staff in attendance at the meeting in order to consider Report No: 457/19 Final Designs- Chapel Street Plaza and Hindmarsh Lane in confidence.
  - 2.** That in accordance with Section 90(3) of the *Local Government Act 1999* Council is satisfied that it is necessary that the public be excluded to consider the information contained in Report No: 457/19 Final Designs – Chapel Street Plaza and Hindmarsh Lane on the following grounds:
    - b.** pursuant to section 90(3)(b) of the Act, the information to be received, discussed or considered in relation to this Agenda Item is information the disclosure of which could reasonably be expected to confer a commercial advantage on a person with whom the Council is conducting business; would prejudice the commercial position of the council.

In addition, the disclosure of this information would, on balance, be contrary to the public interest. The public interest in public access to the meeting has been balanced against the public interest in the continued non-disclosure of the information. The benefit to the public at large resulting from withholding the information outweighs the benefit to it of disclosure of the information.
  - 3.** The Council is satisfied, the principle that the meeting be conducted in a place open to the public, has been outweighed by the need to keep the information or discussion confidential.
-

Item No: **18.2**

Subject: **FINAL DESIGNS – CHAPEL STREET PLAZA & HINDMARSH LANE** (Report No: 457/19)

Date: 10 December 2019

Written By: Strategic Planner

General Manager: Strategy and Business Services, Ms P Jackson

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### **SUMMARY**

This report seeks endorsement of final detail design for Chapel Street Plaza and Hindmarsh Lane. The design process led by Jensen Plus and Tonkin over the past 15 months has reached 100% design stage which provides the full suite of documentation required for construction (includes comprehensive engineering information, technical specifications, tender plans, safety in design review and costings). Council endorsement of the final designs will allow a tender process to be undertaken early in the New Year followed by commencement of construction later in 2020, with dates to be confirmed. This will be the first stage of construction of the Jetty Rd Master Plan.

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### **RECOMMENDATIONS**

1. That Council endorse the final detailed designs for Chapel Street Plaza and Hindmarsh Lane and commencement of a construction tender process.

#### **RETAIN IN CONFIDENCE - Section 91(7) Order**

2. That having considered Agenda Item 18.1 Report No: 457/19 Final Designs – Chapel Street Plaza & Hindmarsh Lane in confidence under section 90(2) and (3)(b) of the *Local Government Act 1999*, the Council, pursuant to section 91(7) of that Act orders that the report, attachment and minutes be retained in confidence for a period of 24 months and that this order be reviewed every 12 months.
- 

### **COMMUNITY PLAN**

Placemaking: Creating lively and safe places  
Placemaking: Developing walkable connected neighbourhoods  
Placemaking: Building character and celebrating history  
Community: Providing welcoming and accessible facilities  
Economy: Harnessing emerging technology  
Economy: Boosting our visitor economy  
Environment: Building an environmentally resilient city

**COUNCIL POLICY**

N/A

**STATUTORY PROVISIONS**

*Local Government Act*

*Road Traffic Act 1961*

**BACKGROUND**

- The Jetty Road Glenelg Master Plan endorsed on 13 February 2018 (C130218/1032) identifies seven project stages for implementation over the next decade, with Chapel Street Plaza the first priority project for Stage 1 implementation.
- Council committed full funding to undertake detailed design for Chapel Street Plaza in the 2018/19 financial year.
- On 29 January 2019, Council endorsed (Motion C290119/1367) expansion of the project scope and budget to include additional funding for a combined commitment of \$1.8 million for construction of both Chapel Street Plaza and Hindmarsh Lane (subject to matched grant funding).
- Engagement with properties owners and businesses surrounding Chapel Street and Hindmarsh Lane was undertaken on these design concepts from March 2019.
- The Department of Planning, Transport and Infrastructure (DPTI) announced in June 2019 that Council was successfully awarded the construction grant for a value of \$1.7 million plus \$100,000 from Department of Communities and Social Inclusion (DCSI) from a Changing Places Grant.
- At the meeting on 23 July 2019, Council noted (Motion C230719/1557) the feedback received during engagement with key stakeholders on Chapel Street Plaza and Hindmarsh Lane designs and acknowledged that final designs would be brought back to Council for endorsement.

Additional details regarding the project background and chronology are attached.

*Refer Attachment 1*

**REPORT**

The Chapel Plaza and Hindmarsh Lane Designs commenced in August 2018 and continued the past 15 months to undertake investigations, concept design, design development, detailed design and documentation stages. The 100% designs are attached.

*Refer Attachment 2*

***Design Update***

Since the 70% design stage, a number of improvements and changes to the designs have been made as a result of design refinement and feedback from councillors and stakeholders. The changes include green infrastructure improvements, trees, new stage/platform design, accessibility improvements, street furniture update, and refined lighting designs including



provision for St Andrews Church up-lighting. Further explanation of changes and refinement of the designs since 70% completion and are found in Attachment 3.

*Refer Attachment 3*

#### **Stakeholder Engagement and Communications**

- Those directly impacted by construction and key stakeholders will continue to be engaged with strategies to minimise disruption as a result of construction.
- A licence agreement for the use of the land owned by St Andrew Church within the plaza is yet to be completed. The church continues to have some concerns regarding the usability of new car park access that will be resolved with further negotiation.
- A communications plan will guide continuing engagement with land owners, businesses and residents from design completion through construction.
- Information will be available to interested parties in numerous formats including regularly updated information on the Your Holdfast webpage. Updated photo renders will be used for communications and are found attached.

*Refer Attachments 4, 5, & 6*

#### **Construction Considerations**

There are several practical considerations to ensure that any disruption caused by construction is minimised. The project team will work with the contractor once appointed and determine appropriate solutions alongside adjoining businesses, residents and land owners. Some of these considerations will include:

- Construction start times, duration and work hours;
- Location of site office and materials storage;
- Traffic management and access to Chapel and Milton Streets during construction;
- Location of trades vehicle parking;
- Maintaining access to shops for customers and deliveries; and
- Provision of temporary toilets when amenities buildings are under construction.

#### **Next Steps**

Following completion of detailed designs the next steps are as follows:

- December 2019 – Council approval of final designs;
- December 2019 - residents, businesses and land owners communication;
- January 2020 – commence select tender process;
- Feb/March 2020 – construction contractor appointed;
- Ongoing 19/20 – engagement with properties adjoining project site; and
- TBC 2020 – construction start date and duration.

#### **BUDGET**

The Chapel Plaza and Hindmarsh Lane total capital estimate is \$3.6 million (including an 11% contingency) with construction to occur over the 2018-19 and 2019/20 financial years. Funding for this project has been provided by a 50/50 contribution from Council and the State Government's Places for People grant fund for construction in 2020. The budget includes provision for all capital works, public art, and up-lighting for St Andrews Church.

Two additional grants have also been awarded from the Department of Communities and Social Inclusion for a Changing Places toilet and also from the State Heritage Branch to upgrade the front steps of the State Heritage listed St Andrews Church.

A summary of construction budget is provided below:

Budget	\$
Council Contribution	1,721,442
Places for People Grant	1,770,458
Changing Places Grant	100,000
State Heritage Grant	8,100
<b>TOTAL</b>	<b>3,600,000</b>

#### LIFE CYCLE COSTS

On completion of construction, annual maintenance costs will be managed by existing operation budgets with the aim to ensure that materials are selected that are in accordance with depot staff specification. A program for community activation of the space will be developed for once construction is completed. The lifecycles costs have been included in the Long Term Financial Plan and will be updated in the relevant asset management plan following construction.

## Chapel Street Plaza Designs – Project Background and Chronology

- The Jetty Road Glenelg Masterplan endorsed on 13 February 2018 (C130218/1032) identifies seven project stages for implementation over the next decade, with Chapel Street Plaza the first priority project for Stage 1 implementation.
- Council was notified being unsuccessful in receiving a 'design and construct' grant for Chapel Plaza in the pre- state election DPTI Places for People Grant round.
- In May 2018, council committed full funding (\$747,500) to undertake detailed design for Chapel Street Plaza and Moseley Square Integration in the 2018/19 financial year.
- An additional \$833,000 was committed towards construction for Chapel Street Plaza and Moseley Square Integration (part 01), subject to matched funding from the 2019 Places for People Grant Fund.
- An open tender selection process appointed a design consultant consortium led by Jensen Plus on 27 August 2018
- Jensen Plus (together with Tonkin, Infraplan, Studio 9, Groundplay and others) were engaged to undertake the detailed designs for Chapel Street Plaza and further develop the concept plan based on the preliminary concept by Oxigen in the Masterplan.
- Between September 2018 and November 2018 detailed design investigations were undertaken and concepts developed during Council election caretaker period.
- The initial Chapel Street concept in the Masterplan identified the possibility of a toilet amenity building at the rear of the Chapel Street site adjacent the Milton St Intersection. However, further investigation found that an amenities building in Chapel Street is difficult to accommodate due to proximity businesses and the State Heritage listed church, loss of public space, vehicle access requirements and visual screening.
- The existing toilet facilities in Hindmarsh Lane, including three Exeloo toilets and the older amenity building in the Coles car park are at capacity and would benefit from upgrading.
- Identified the opportunity to upgrade these facilities including replacement of the Exeloo's and upgrades to use a Changing Places toilet grant to upgrade the brick amenity building adjacent the Coles car park with a Changing Places toilet and parenting facility.
- On 29 January council endorsed (Motion C290119/1367) expansion of the scope of the project to include the upgrade of Hindmarsh Lane to allow for consolidation and improvement of existing toilet amenities and improve pedestrian connectivity between the plazas.
- The expanded scope also included the following inclusions since development of the Masterplan including:
  - Open pergola structure over the centre of the Chapel St
  - Public Art budget provision
  - Increased paving area adjoining Milton Street

## Chapel Street Plaza Designs – Project Background and Chronology

- Stage area
  - Church car park and access modifications
  - Brick toilet building adjacent Coles to include a Changing Places toilet
- Council also endorsed additional funding for a combined commitment of \$1.8 million for the Chapel Street Plaza and Hindmarsh Lane upgrade subject to a successful grant application for \$1.8 million (50% contribution) from the State Government's Places for People Grant Fund.
- Also at the January meeting Council endorsed (Motion C290119/1367) the project team to proceed engagement on the concept plans with stakeholders directly impacted by the changes.
- In February 2019 an application seeking matched funding for construction in DPTI Places for People Grant fund round sought matched funding for construction.
- Engagement with the properties and businesses surrounding Chapel Street and Hindmarsh Lane was undertaken throughout March 2019. As a result of the feedback received, a number of changes were made.
- DPTI announced on Friday 21 June 2019 that Council was successful in gaining the grant for this project.
- On 23 July 2019 noted (Motion C230719/1557) the feedback received during engagement with key stakeholders on Chapel Street Plaza and Hindmarsh Lane concepts.
- Council also noted the Chapel Street Plaza and Hindmarsh Lane 70% detailed design milestone and upcoming project stages including further stakeholder engagement and development of final designs and documentation for Council endorsement.

# JETTY ROAD, GLENELG MASTER PLAN IMPLEMENTATION

## STAGE 1: CHAPEL STREET + HINDMARSH LANE

### LANDSCAPE & IRRIGATION WORKS

(Project No P4818/JR/L)  
for

CITY OF HOLDFAST BAY  
NOVEMBER 2019

FOR TENDER

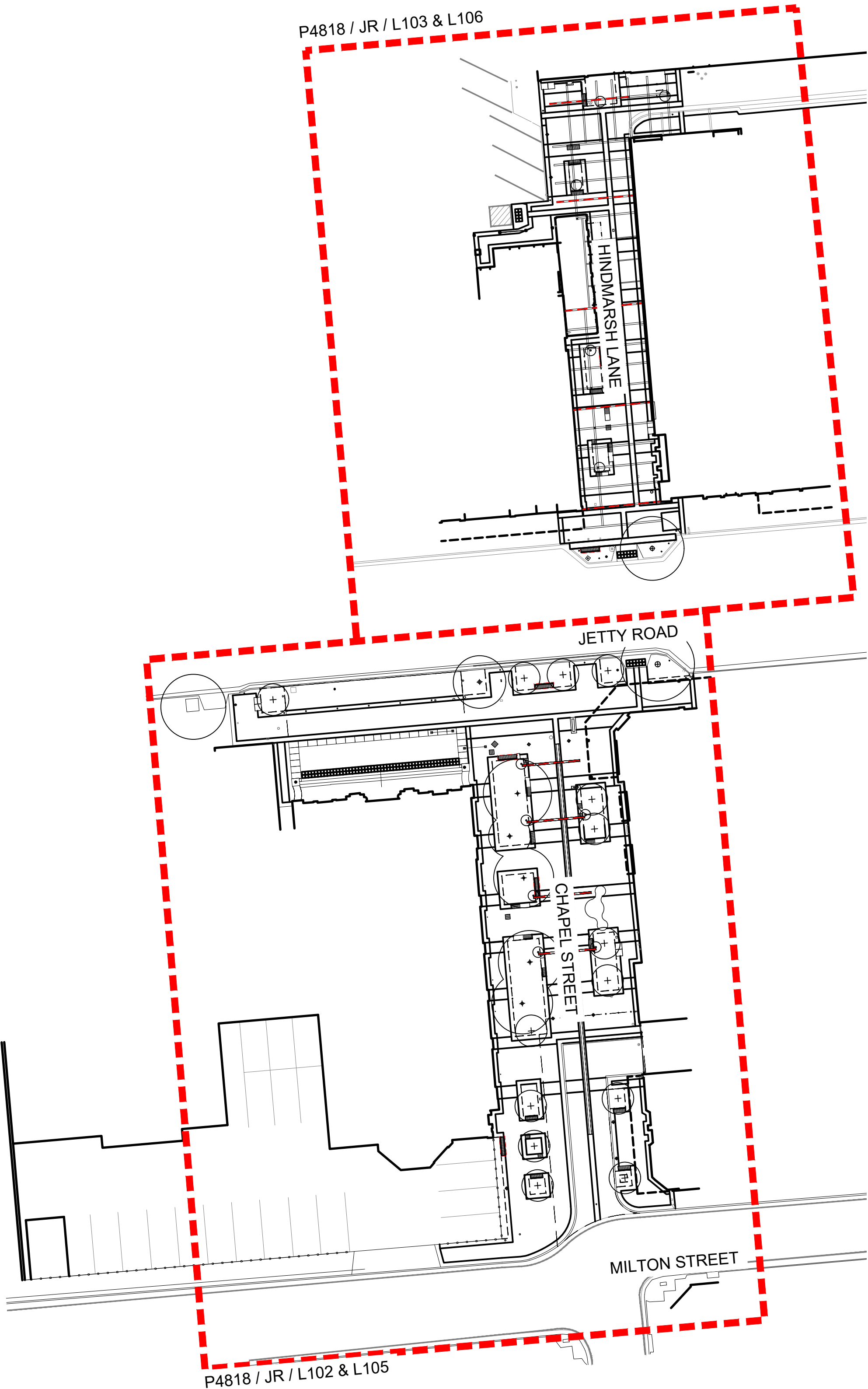
JENSEN  
PLUS

Planning  
Landscape Architecture  
Urban Design  
Social Planning

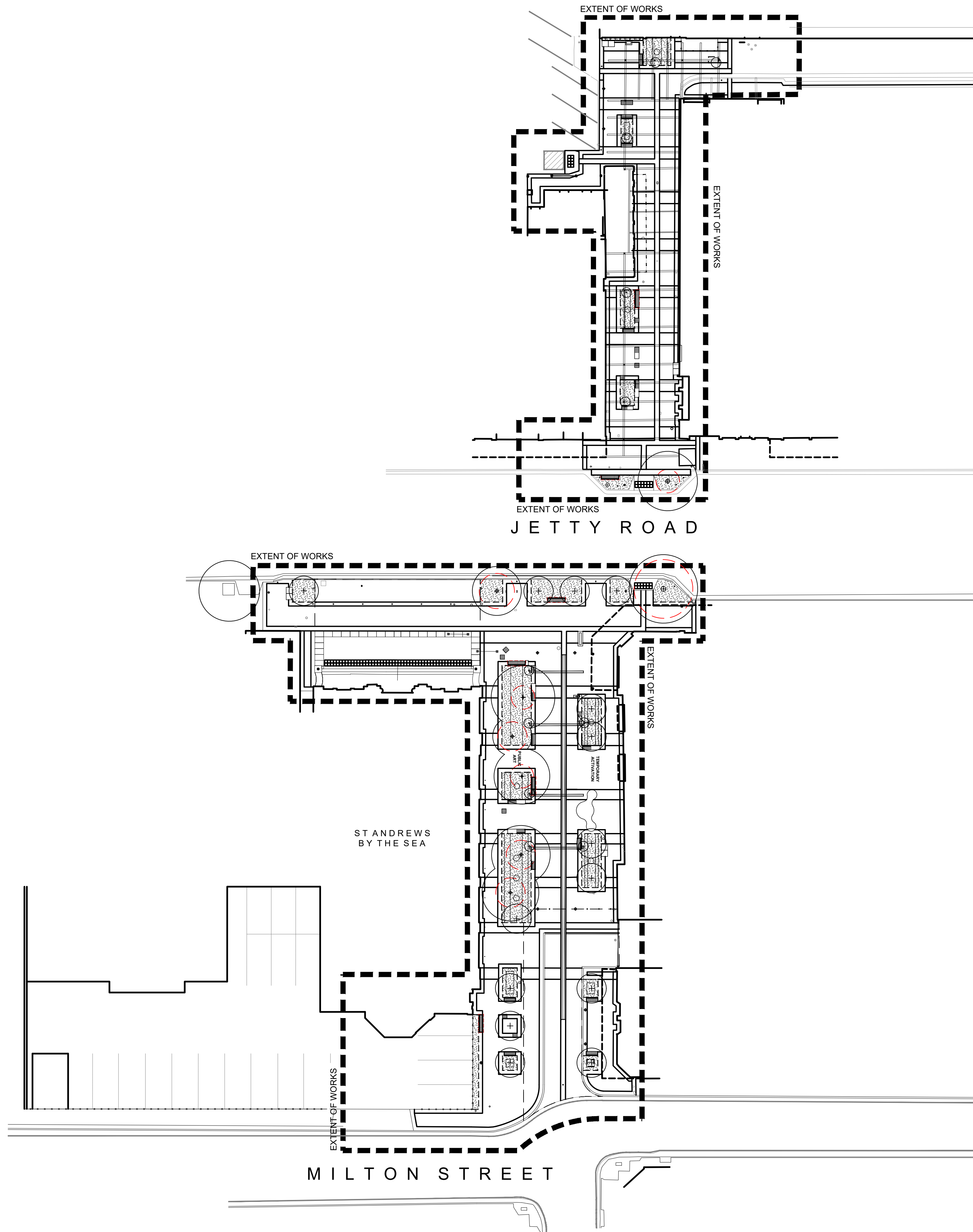
DRAWING SCHEDULE

JENSEN PLUS

Drawing No.	Title
P4818 / JR / L100 - Rev D	COVERSHEET
P4818 / JR / L101 - Rev D	OVERALL SITE PLAN
P4818 / JR / L102 - Rev D	CHAPEL STREET DEMOLITION PLAN
P4818 / JR / L103 - Rev D	HINDMARSH LANE DEMOLITION PLAN
P4818 / JR / L104 - Rev D	CHAPEL STREET HARDSCAPE PLAN
P4818 / JR / L105 - Rev D	HINDMARSH LANE HARDSCAPE PLAN
P4818 / JR / L106 - Rev C	CHAPEL STREET LIGHTING + POWER PLAN
P4818 / JR / L107 - Rev C	HINDMARSH LANE LIGHTING + POWER PLAN
P4818 / JR / L108 - Rev D	PLANTING SCHEDULE + NOTES
P4818 / JR / L109 - Rev D	CHAPEL STREET SOFTSCAPE PLAN
P4818 / JR / L1010 - Rev D	HINDMARSH LANE SOFTSCAPE PLAN
P4818 / J R / L200 - Rev C	GENERAL DETAILS
P4818 / J R / L201 - Rev C	PAVING LAYOUT DETAILS
P4818 / J R / L202 - Rev C	FURNITURE DETAILS
P4818 / J R / L203 - Rev C	FENCING DETAILS
P4818 / J R / L204 - Rev B	LIGHTING DETAILS
GLENELG IRRIGATION XX/XX	XX-XX
TONKIN CONSULTING ENGINEERS 20180894 / REV B	SHEET 00 - 20
STUDIO NINE ARCHITECTS 0919-009	DD03 - DD05
GROUNDPLAY STREET FURNITURE DESIGN	01 - 05







NOTES:

THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER JENSEN PLUS AND TONKIN ENGINEERING CONSULTANTS, STUDIO NINE ARCHITECTS AND GROUND PLAY, CONTRACT DRAWINGS AND SPECIFICATIONS.

ALL SETTING OUT TO BE AGREED ON SITE WITH THE LANDSCAPE ARCHITECT / SUPERINTENDENT.

SITE MEASUREMENTS TO BE TAKEN WHERE NECESSARY TO ENSURE ACCURACY OF CONSTRUCTION.

ALL EFFORTS HAVE BEEN UNDERTAKEN TO PLACE TREES CLEAR OF SERVICES. THE CONTRACTOR IS TO UTILISE DIAL BEFORE YOU DIG SERVICES AND SHALL REPORT ANY DISCREPANCIES OR CLASHES WITH EXISTING SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL EXISTING AND PROPOSED SERVICES.

ALL EXISTING SERVICES ON SITE TO REMAIN UNTOUCHED AND PROTECTED DURING THE COURSE OF THE WORKS.

ANY DAMAGE TO EXISTING ROADS AND PAVEMENTS TO BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

EXISTING ROADS AND FOOTPATHS TO BE KEPT CLEAR OF OBSTRUCTION AND KEPT CLEAN AT ALL TIMES.

TRAFFIC MANAGEMENT TO THE SATISFACTION OF THE RELEVANT AUTHORITY TO BE IMPLEMENTED WHERE REQUIRED.

THE CONTRACTOR SHALL REPORT ANY CLASHES OR DISCREPANCIES WITH EXISTING SERVICES.

CONTRACTORS TO ADVISE OF ANY DIFFICULTIES IN CONSTRUCTION AS DETAILED.

LEGEND

- EXTENT OF LANDSCAPE WORKS IN THIS PORTION
- RETAINED TREES
- 200L TREES
- 45L TREES
- TREE PROTECTION ZONE TO COMPLY WITH AS 4970-2009
- SHRUB PLANTING
- PAVING TYPE 1  
900 x 600 x 50mm JUPERANA FLAGSTONE PAVERS, STRETCHER BOND
- PAVING TYPE 2 (+ HEADER WHERE ABUTS BUILDING EDGE) 400 x 200 x 50mm JUPERANA PAVERS, STRETCHER BOND
- PAVING TYPE 3  
230 x 110 x 50mm JUPERANA TRAFFICABLE PAVERS, HERRINGBONE
- PAVING TYPE 4A-D (+ HEADER WHERE ABUTS BUILDING EDGE AS SHOWN) ASSORTED SIZED AUSTRAL COFFEE, STRETCHER BOND
- PAVING TYPE 5  
100 x 100 x 40mm AUSTRAL BLACK STONE SETTS IN 30% CHARCOAL OXIDE MORTAR
- PAVING TYPE 6  
300 x 300 x 40mm HAZARD TACTILE PAVERS TYPE 6A WESTERN CREAM @ PRAM RAMP, TYPE 6B CHARCOAL @ CHURCH, SHOTBLAST
- PAVING TYPE 7 (HEADER WHERE ABUTS BUILDING EDGE) 400 x 200 x 50mm AUSTRAL COFFEE PAVERS, STRETCHER BOND
- EXTENT OF TRAFFICABLE PAVING
- ALL STONE PAVERS TO BE P5 EXFOLIATED ROUGH FINISH + STRAIGHT/CUT EDGE
- RESIN BOUND GRAVEL
- NEW FENCING TBC
- GALVANIZED STEEL EDGE
- EXISTING LEVELS
- PROPOSED LEVELS
- FIXED BOLLARD
- REMOVABLE BOLLARD
- SIGN POSTS
- DIGITAL SIGNAGE
- CONCRETE + TIMBER BENCHES BY GROUNDPLAY
- CONCRETE + TIMBER SEATS WITH BACK + ARMRESTS BY GROUNDPLAY
- CONCRETE + TIMBER SEATS WITH INTEGRATED LIGHTING BY GROUNDPLAY
- HESS PEDESTRIAN LIGHTING POLES
- AQUALUX LED LIGHTING STRIPS
- TREE ROOT BARRIER TO ALL PLANTING BEDS WITH NEW TREES



D	FOR TENDER	CO	191108
C	FOR TENDER ISSUE - FOR COMMENT	CO	191004
B	70% DESIGN ISSUE - FOR COMMENT	CO	190527
A	30% DESIGN ISSUE - FOR COMMENT	CO	190326
No.	REVISION	BY	DATE

OVERALL SITE PLAN

Project  
JETTY ROAD, GLENELG  
MASTERPLAN IMPLEMENTATION

Client  
CITY OF HOLDFAST BAY

**JENSEN PLUS** Planning  
Landscape Architecture  
Urban Design  
Social Planning

Jensen PLUS  
Level 1, 21 Roper Street, Adelaide, South Australia 5000  
Tel 08 8338 5511  
www.jensenplus.com.au

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Project No. Category Drawing No.

P4818/JR/L101

Date NOV 2019 Revision

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Issue FOR TENDER

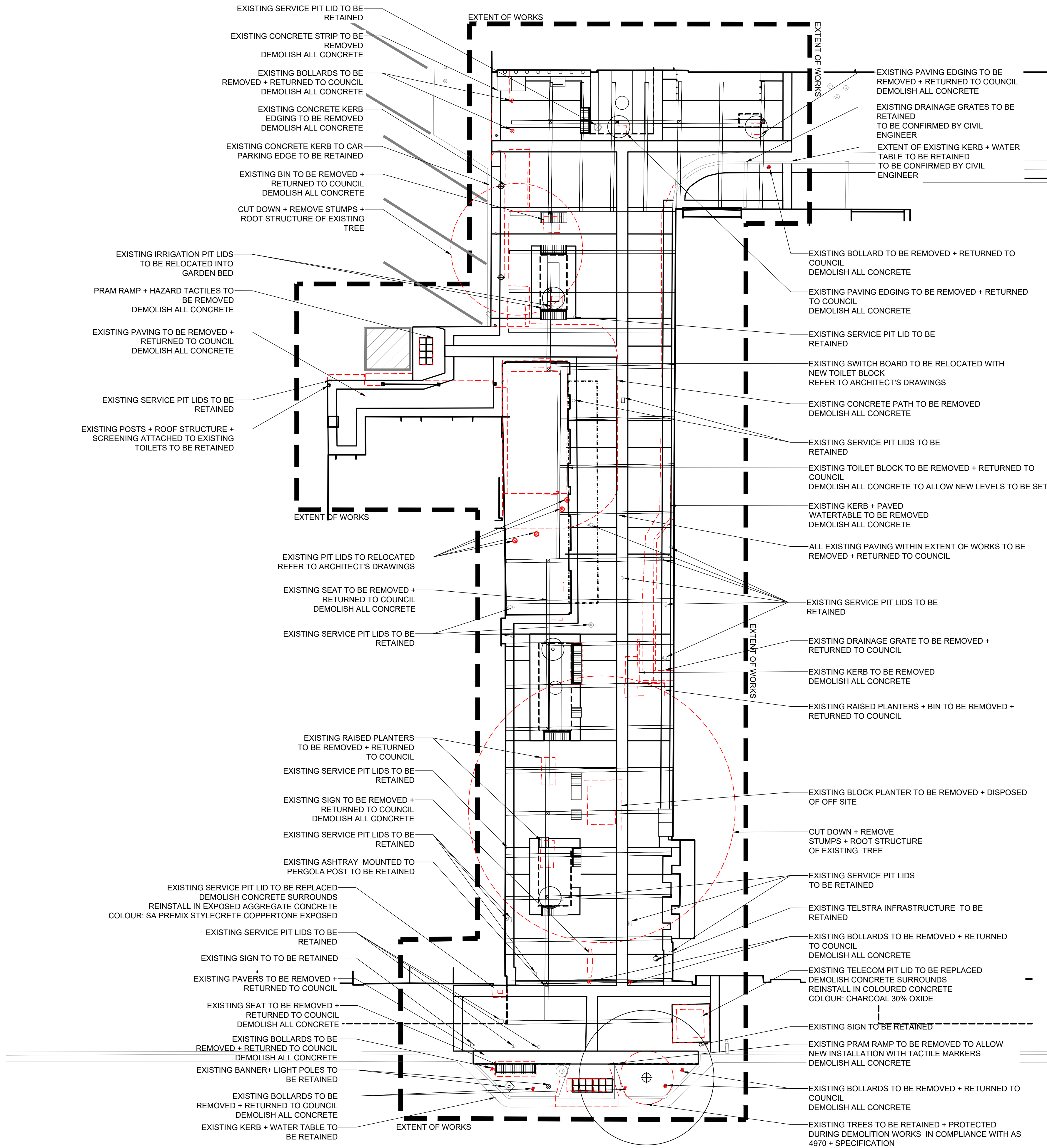
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NOTES:

THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER JENSEN PLUS AND TONKIN ENGINEERING CONSULTANTS, STUDIO NINE ARCHITECTS AND GROUND PLAY, CONTRACT DRAWINGS AND SPECIFICATIONS.

ALL SETTING OUT TO BE AGREED ON SITE WITH THE LANDSCAPE ARCHITECT / SUPERINTENDENT.

SITE MEASUREMENTS TO BE TAKEN WHERE NECESSARY TO ENSURE ACCURACY OF CONSTRUCTION.

ALL EFFORTS HAVE BEEN UNDERTAKEN TO PLACE TREES CLEAR OF SERVICES. THE CONTRACTOR IS TO UTILISE DIAL BEFORE YOU DIG SERVICES AND SHALL REPORT ANY DISCREPANCIES OR CLASHES WITH EXISTING SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL EXISTING AND PROPOSED SERVICES.

ALL EXISTING SERVICES ON SITE TO REMAIN UNTOUCHED AND PROTECTED DURING THE COURSE OF THE WORKS.

ANY DAMAGE TO EXISTING ROADS AND PAVEMENTS TO BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

EXISTING ROADS AND FOOTPATHS TO BE KEPT CLEAR OF OBSTRUCTION AND KEPT CLEAN AT ALL TIMES.

TRAFFIC MANAGEMENT TO THE SATISFACTION OF THE RELEVANT AUTHORITY TO BE IMPLEMENTED WHERE REQUIRED.

THE CONTRACTOR SHALL REPORT ANY CLASHES OR DISCREPANCIES WITH EXISTING SERVICES.

CONTRACTORS TO ADVISE OF ANY DIFFICULTIES IN CONSTRUCTION AS DETAILED.

TREE PROTECTION STANDARD

CONTRACTOR TO COMPLY WITH AS 4970 - 2009

GENERAL

THE CONTRACTOR IS TO DISPLAY A SIGN IN A PROMINENT POSITION AT EACH ENTRANCE TO THE SITE, WARNING THAT TREES AND PLANTINGS ARE TO BE PROTECTED DURING THE CONTRACT.

SIGNAGE IS TO BE INSTALLED AND A PROTECTION MEASURES PROGRAMME SUPPLIED BEFORE COMMENCEMENT OF EARTHWORKS.

TREES TO BE RETAINED

CONTRACTOR TO PREPARE A TREE PROTECTION PLAN BASED ON THE DESIGN ISSUES SET OUT IN AS 4970 SECTION 2 BEFORE COMMENCEMENT OF EARTHWORKS.

EXTENT: ALL TREES NOT MARKED FOR REMOVAL.

TREE PROTECTION

TREE PROTECTION ZONE: TO AS 4970 SECTION 3.

TREE PROTECTIVE MEASURES: TO AS 4970 SECTION 4.

MONITORING AND CERTIFICATION: TO AS 4970 SECTION 5.

WORK NEAR TREES

HARMFUL MATERIALS: KEEP THE AREA WITHIN THE DRIPLINE FREE OF SHEDS AND PATHS, CONSTRUCTION MATERIAL AND DEBRIS. DO NOT PLACE BULK MATERIALS AND HARMFUL MATERIALS UNDER OR NEAR TREES. DO NOT PLACE SPOIL FROM EXCAVATIONS AGAINST TREE TRUNKS. PREVENT WIND-BLOWN MATERIALS SUCH AS CEMENT FROM HARMING TREES AND PLANTS.

DAMAGE: PREVENT DAMAGE TO TREE BARK. DO NOT ATTACH STAYS, GUYS AND THE LIKE TO TREES.

WORK UNDER TREES: DO NOT REMOVE TOPSOIL FROM, OR ADD TOPSOIL TO, THE AREA WITHIN THE DRIPLINE OF THE TREES UNLESS OTHERWISE DOCUMENTED AND APPROVED.

EXCAVATION: IF EXCAVATION IS REQUIRED NEAR TREES TO BE RETAINED, GIVE NOTICE AND OBTAIN INSTRUCTIONS. OPEN UP EXCAVATIONS UNDER TREE CANOPIES FOR AS SHORT A PERIOD AS POSSIBLE.

CONSIDER NOMINATING THRUST BORING TO AVOID SERVICES TRENCHES WITHIN THE PRIMARY ROOT ZONE.

HAND METHODS: USE HAND METHODS TO LOCATE, EXPOSE AND CLEANLY REMOVE THE ROOTS ON THE LINE OF EXCAVATION. IF IT IS NECESSARY TO EXCAVATE WITHIN THE DRIP LINE, USE HAND METHODS SUCH THAT ROOT SYSTEMS ARE PRESERVED INTACT AND UNDAMAGED.

ROOTS: DO NOT CUT TREE ROOTS EXCEEDING 50 MM DIAMETER. WHERE IT IS NECESSARY TO CUT TREE ROOTS, USE MEANS SUCH THAT THE CUTTING DOES NOT UNDULY DISTURB THE REMAINING ROOT SYSTEM. IMMEDIATELY AFTER CUTTING, WATER THE TREE AND APPLY A LIQUID ROOTING HORMONE TO STIMULATE THE GROWTH OF NEW ROOTS. E.G. FORMULA 20® OR HORMONE 20®.

BACKFILLING: BACKFILL TO EXCAVATIONS AROUND TREE ROOTS WITH A MIXTURE CONSISTING OF THREE PARTS BY VOLUME OF TOPSOIL AND ONE PART OF WELL ROTTED COMPOST WITH A NEUTRAL PH VALUE, FREE FROM WEED GROWTH AND HARMFUL MATERIALS. PLACE THE BACKFILL LAYERS, EACH OF 300 MM MAXIMUM DEPTH, COMPACTED TO A DRY DENSITY SIMILAR TO THAT OF THE ORIGINAL OR SURROUNDING SOIL. DO NOT BACKFILL AROUND TREE TRUNKS TO A HEIGHT GREATER THAN 200 MM ABOVE THE ORIGINAL GROUND SURFACE. IMMEDIATELY AFTER BACKFILLING, THOROUGHLY WATER THE ROOT ZONE SURROUNDING THE TREE.

COMPACTED GROUND: DO NOT COMPACT THE GROUND OR USE SKID-STEEL VEHICLES UNDER THE TREE DRIPLINE. IF COMPACTION OCCURS, GIVE NOTICE AND OBTAIN INSTRUCTIONS.

COMPACTION PROTECTION: PROTECT AREAS ADJACENT THE TREE DRIPLINE. SUBMIT PROPOSALS FOR AN ELEVATED PLATFORM TO SUIT THE PROPOSED EARTHWORKS MACHINERY.

WATERING: WATER TREES AS NECESSARY, INCLUDING WHERE ROOTS ARE EXPOSED AT AMBIENT TEMPERATURE > 35°C.

LEGEND

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- RETAINED TREES
- 200L TREES
- 45L TREES
- TREE PROTECTION ZONE TO COMPLY WITH AS 4970-2009
- SHRUB PLANTING
- PAVING TYPE 1 900 x 600 x 50mm JUPERANA FLAGSTONE PAVERS, STRETCHER BOND
- PAVING TYPE 2 (+ HEADER WHERE ABUTS BUILDING EDGE) 400 x 200 x 50mm JUPERANA PAVERS, STRETCHER BOND
- PAVING TYPE 3 230 x 110 x 50mm JUPERANA TRAFFICABLE PAVERS, HERRINGBONE
- PAVING TYPE 4A-D (+ HEADER WHERE ABUTS BUILDING EDGE AS SHOWN) ASSORTED SIZED AUSTRAL COFFEE, STRETCHER BOND
- PAVING TYPE 5 100 x 100 x 40mm AUSTRAL BLACK STONE SETS IN 30% CHARCOAL OXIDE MORTAR
- PAVING TYPE 6 300 x 300 x 40mm HAZARD TACTILE PAVERS TYPE 6A WESTERN CREAM @ PRAM RAMPS, TYPE 6B CHARCOAL @ CHURCH, SHOTBLAST
- PAVING TYPE 7 (+ HEADER WHERE ABUTS BUILDING EDGE) 400 x 200 x 50mm AUSTRAL COFFEE PAVERS, STRETCHER BOND
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- RESIN BOUND GRAVEL
- NEW FENCING TBC
- GALVANIZED STEEL EDGE
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- PROPOSED LEVELS
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- REMOVABLE BOLLARD
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D	FOR TENDER	CO	191108
C	FOR TENDER ISSUE - FOR COMMENT	CO	191004
B	70% DESIGN ISSUE - FOR COMMENT	CO	190527
A	30% DESIGN ISSUE - FOR COMMENT	CO	190326
No.	REVISION	BY	DATE

HINDMARSH LANE DEMOLITION PLAN

Project  
JETTY ROAD, GLENELG  
MASTERPLAN IMPLEMENTATION

Client  
CITY OF HOLDFAST BAY

**JENSEN PLUS** Planning Landscape Architecture Urban Design Social Planning

Jensen PLUS  
Level 1, 21 Roper Street, Adelaide, South Australia 5000  
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www.jensenplus.com.au

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Project No. Category Drawing No.

**P4818/JR/L103**

Date NOV 2019 Revision

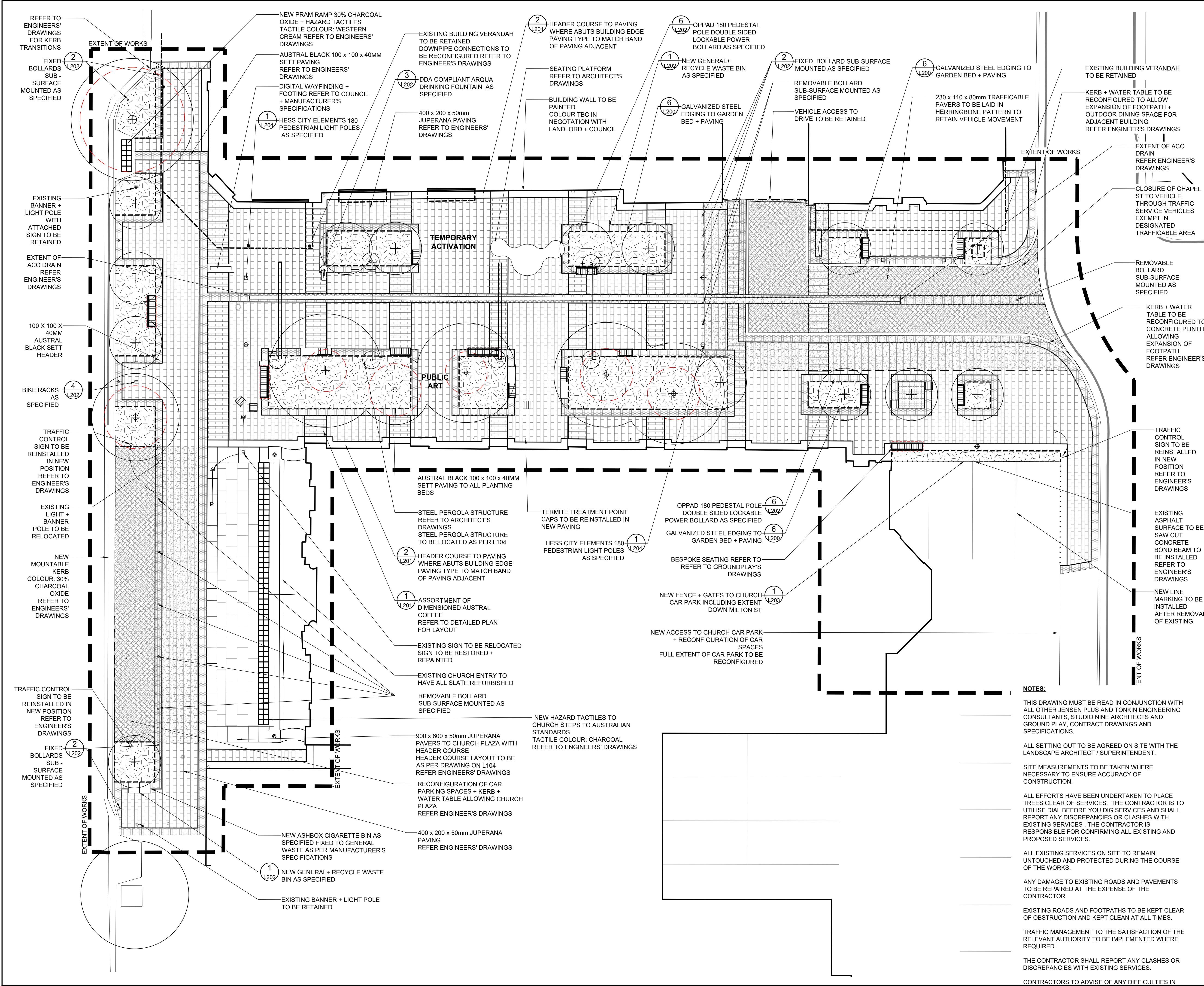
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Issue FOR TENDER

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- ALL STONE PAVERS TO BE P5 EXFOLIATED ROUGH FINISH + STRAIGHT/CUT EDGE**
- RESIN BOUND GRAVEL
- NEW FENCING TBC
- GALVANIZED STEEL EDGE
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D	FOR TENDER	CO	191108
C	FOR TENDER ISSUE - FOR COMMENT	CO	191004
B	70% DESIGN ISSUE - FOR COMMENT	CO	190527
A	30% DESIGN ISSUE - FOR COMMENT	CO	190326
No.	REVISION	BY	DATE

Title  
**CHAPEL ST HARDSCAPE PLAN**

Project  
**JETTY ROAD, GLENELG**

Client  
**CITY OF HOLDFAST BAY**

Planning  
Landscape Architecture  
Urban Design  
Social Planning

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Project No.	Category	Drawing No.
<b>P4818/JR/L104</b>		
Date NOV 2019	Revision	
Scale 1:100@A1		
Issue FOR TENDER	<b>D</b>	
Drawn CO	Checked LM	

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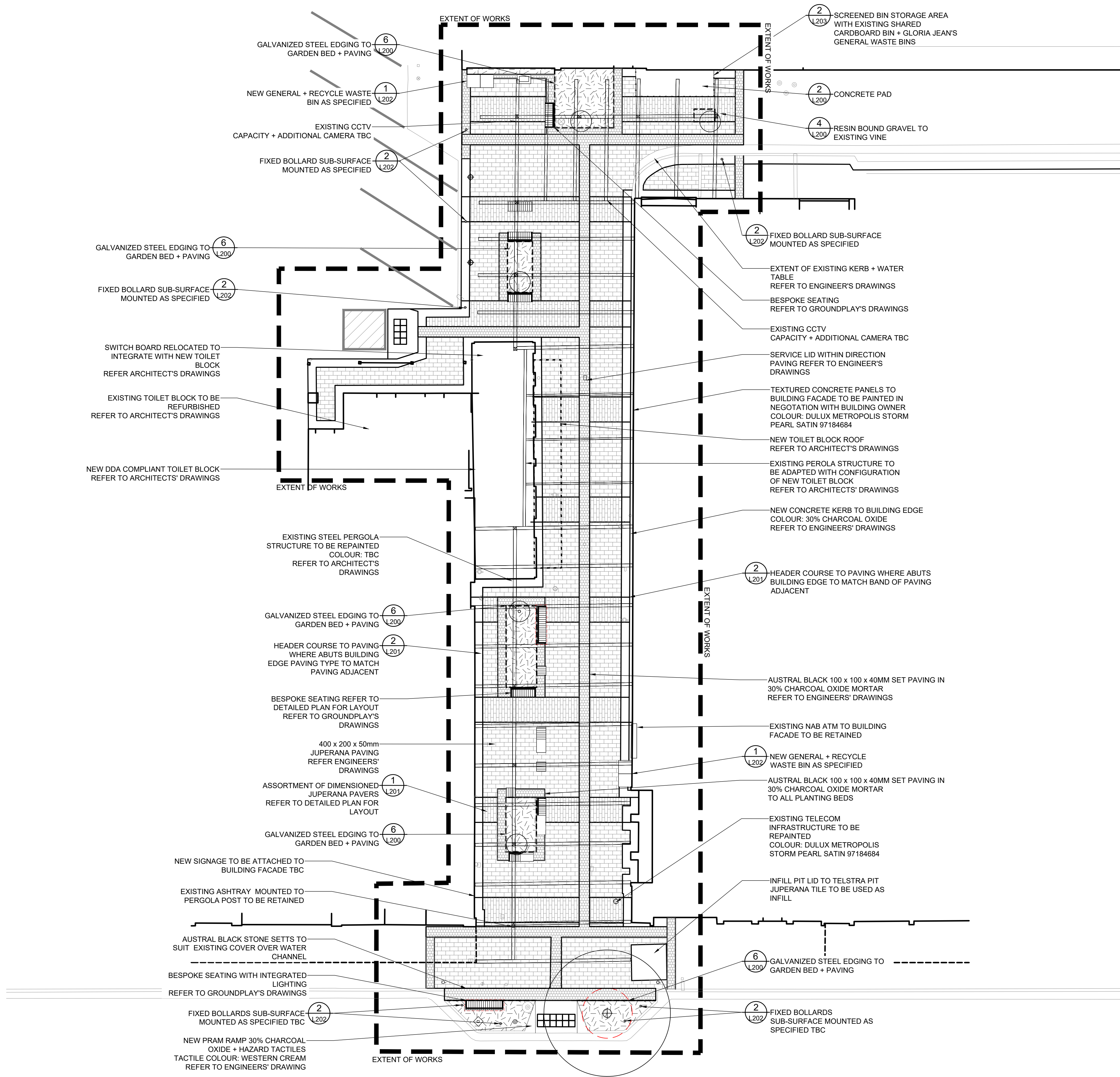
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CONTRACTORS TO ADVISE OF ANY DIFFICULTIES IN CONSTRUCTION AS THEY ARISE

SCALE 1:100





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CONTRACTORS TO ADVISE OF ANY DIFFICULTIES IN

TREE PROTECTION STANDARD

CONTRACTOR TO COMPLY WITH AS 4970 - 2009

GENERAL

THE CONTRACTOR IS TO DISPLAY A SIGN IN A PROMINENT POSITION AT EACH ENTRANCE TO THE SITE, WARNING THAT TREES AND PLANTINGS ARE TO BE PROTECTED DURING THE CONTRACT.

SIGNAGE IS TO BE INSTALLED AND A PROTECTION MEASURES PROGRAMME SUPPLIED BEFORE COMMENCEMENT OF EARTHWORKS.

TREES TO BE RETAINED

CONTRACTOR TO PREPARE A TREE PROTECTION PLAN BASED ON THE DESIGN ISSUES SET OUT IN AS 4970 SECTION 2 BEFORE COMMENCEMENT OF EARTHWORKS.

EXTENT: ALL TREES NOT MARKED FOR REMOVAL.

TREE PROTECTION

TREE PROTECTION ZONE: TO AS 4970 SECTION 3.

TREE PROTECTIVE MEASURES: TO AS 4970 SECTION 4.

MONITORING AND CERTIFICATION: TO AS 4970 SECTION 5.

WORK NEAR TREES

HARMFUL MATERIALS: KEEP THE AREA WITHIN THE DRIPLINE FREE OF SHEDS AND PATHS. CONSTRUCTION MATERIAL AND DEBRIS. DO NOT PLACE BULK MATERIALS AND HARMFUL MATERIALS UNDER OR NEAR TREES. DO NOT PLACE SPOIL FROM EXCAVATIONS AGAINST TREE TRUNKS. PREVENT WIND-BLOWN MATERIALS SUCH AS CEMENT FROM HARMING TREES AND PLANTS.

DAMAGE: PREVENT DAMAGE TO TREE BARK. DO NOT ATTACH STAYS, GUYS AND THE LIKE TO TREES.

WORK UNDER TREES: DO NOT REMOVE TOPSOIL FROM, OR ADD TOPSOIL TO, THE AREA WITHIN THE DRIPLINE OF THE TREES UNLESS OTHERWISE DOCUMENTED AND APPROVED.

EXCAVATION: IF EXCAVATION IS REQUIRED NEAR TREES TO BE RETAINED, GIVE NOTICE AND OBTAIN INSTRUCTIONS. OPEN UP EXCAVATIONS UNDER TREE CANOPIES FOR AS SHORT A PERIOD AS POSSIBLE.

CONSIDER NOMINATING THRUST BORING TO AVOID SERVICES TRENCHES WITHIN THE PRIMARY ROOT ZONE.

HAND METHODS: USE HAND METHODS TO LOCATE, EXPOSE AND CLEANLY REMOVE THE ROOTS ON THE LINE OF EXCAVATION. IF IT IS NECESSARY TO EXCAVATE WITHIN THE DRIP LINE, USE HAND METHODS SUCH THAT ROOT SYSTEMS ARE PRESERVED INTACT AND UNDAMAGED.

ROOTS: DO NOT CUT TREE ROOTS EXCEEDING 50 MM DIAMETER. WHERE IT IS NECESSARY TO CUT TREE ROOTS, USE MEANS SUCH THAT THE CUTTING DOES NOT UNDULY DISTURB THE REMAINING ROOT SYSTEM. IMMEDIATELY AFTER CUTTING, WATER THE TREE AND APPLY A LIQUID ROOTING HORMONE TO STIMULATE THE GROWTH OF NEW ROOTS. E.G. FORMULA 20® OR HORMONE 20®.

BACKFILLING: BACKFILL TO EXCAVATIONS AROUND TREE ROOTS WITH A MIXTURE CONSISTING OF THREE PARTS BY VOLUME OF TOPSOIL AND ONE PART OF WELL ROTTED COMPOST WITH A NEUTRAL PH VALUE, FREE FROM WEED GROWTH AND HARMFUL MATERIALS. PLACE THE BACKFILL LAYERS, EACH OF 300 MM MAXIMUM DEPTH, COMPACTED TO A DRY DENSITY SIMILAR TO THAT OF THE ORIGINAL OR SURROUNDING SOIL. DO NOT BACKFILL AROUND TREE TRUNKS TO A HEIGHT GREATER THAN 200 MM ABOVE THE ORIGINAL GROUND SURFACE. IMMEDIATELY AFTER BACKFILLING, THOROUGHLY WATER THE ROOT ZONE SURROUNDING THE TREE.



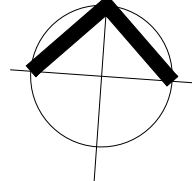
COMPACTED GROUND: DO NOT COMPACT THE GROUND OR USE SKID-STEEL VEHICLES UNDER THE TREE DRIPLINE. IF COMPACTION OCCURS, GIVE NOTICE AND OBTAIN INSTRUCTIONS.

COMPACTION PROTECTION: PROTECT AREAS ADJACENT THE TREE DRIPLINE. SUBMIT PROPOSALS FOR AN ELEVATED PLATFORM TO SUIT THE PROPOSED EARTHWORKS MACHINERY.

WATERING: WATER TREES AS NECESSARY, INCLUDING WHERE ROOTS ARE EXPOSED AT AMBIENT TEMPERATURE > 35°C.

LEGEND

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- RETAINED TREES
- 200L TREES
- 45L TREES
- TREE PROTECTION ZONE TO COMPLY WITH AS 4970-2009
- SHRUB PLANTING
- PAVING TYPE 1  
900 x 600 x 50mm JUPERANA FLAGSTONE PAVERS, STRETCHER BOND
- PAVING TYPE 2 (+ HEADER WHERE ABUTS BUILDING EDGE) 400 x 200 x 50mm JUPERANA PAVERS, STRETCHER BOND
- PAVING TYPE 3  
230 x 110 x 50mm JUPERANA TRAFFICABLE PAVERS, HERRINGBONE
- PAVING TYPE 4A-D (+ HEADER WHERE ABUTS BUILDING EDGE AS SHOWN) ASSORTED SIZED AUSTRAL COFFEE, STRETCHER BOND
- PAVING TYPE 5  
100 x 100 x 40mm AUSTRAL BLACK STONE SETTS IN 30% CHARCOAL OXIDE MORTAR
- PAVING TYPE 6  
300 x 300 x 40mm HAZARD TACTILE PAVERS TYPE 6A WESTERN CREAM @ PRAM RAMP, TYPE 6B CHARCOAL @ CHURCH, SHOTBLAST
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- RESIN BOUND GRAVEL
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D	FOR TENDER	CO	191108
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Title

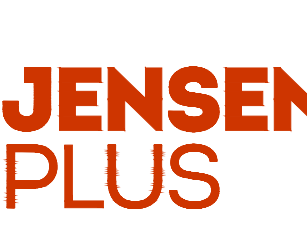
**HINDMARSH LANE HARDSCAPE PLAN**

Project

**JETTY ROAD, GLENELG**

Client

**CITY OF HOLDFAST BAY**



Planning  
Landscape Architecture  
Urban Design  
Social Planning

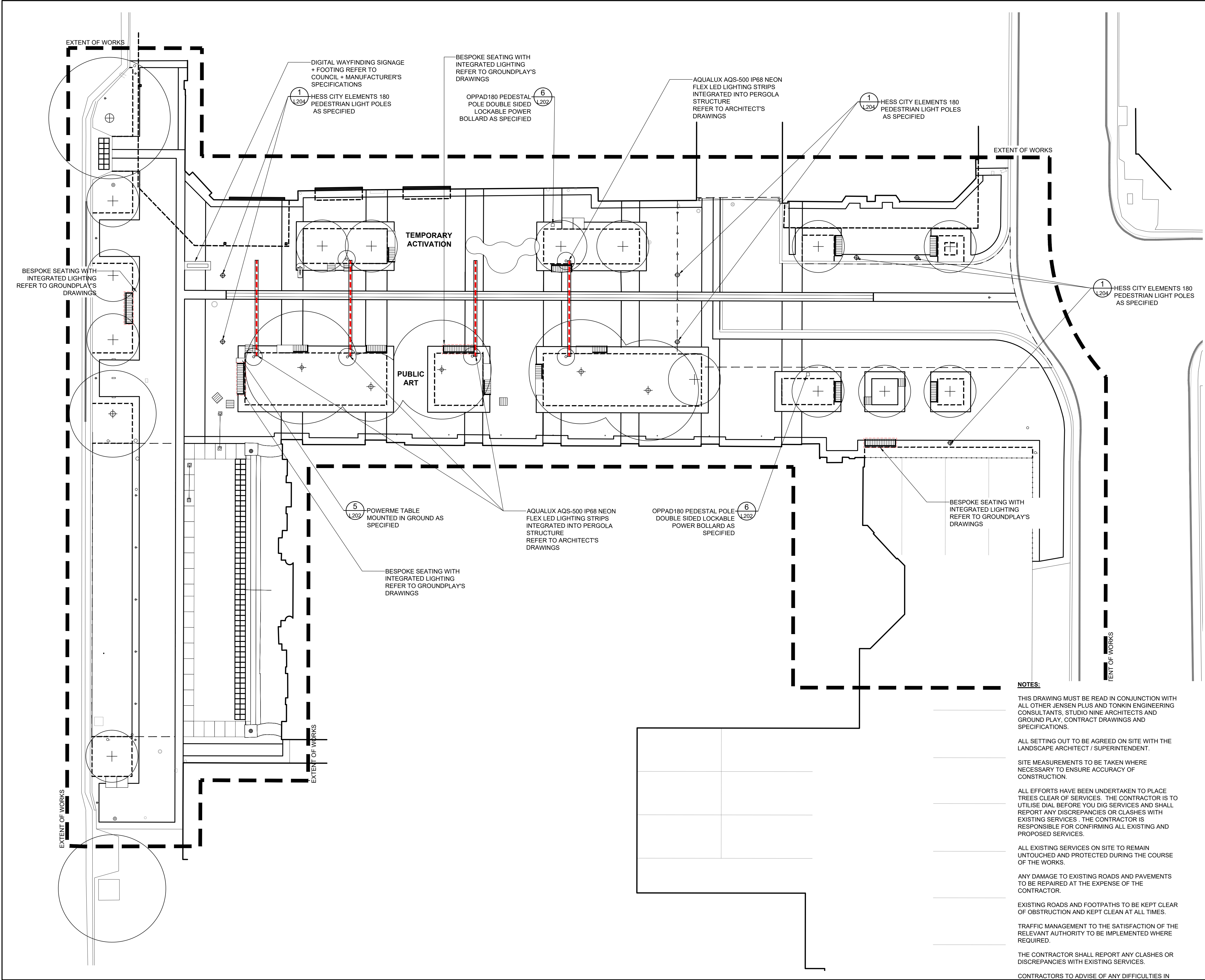
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Project No.	Category	Drawing No.
<b>P4818/JR/L105</b>		
Date	NOV 2019	Revision
Scale	1:100@A1	<b>D</b>
Issue	FOR TENDER	Checked LM
Drawn	CO	

SCALE 1:100





### LEGEND

EXTENT OF LANDSCAPE WORKS IN THIS PORTION

RETAINED TREES

200L TREES

45L TREES

TREE PROTECTION ZONE TO COMPLY WITH AS 4970-2009

SHRUB PLANTING

PAVING TYPE 1  
900 x 600 x 50mm JUPERANA FLAGSTONE PAVERS, STRETCHER BOND

PAVING TYPE 2 (+ HEADER WHERE ABUTS BUILDING EDGE) 400 x 200 x 50mm JUPERANA PAVERS, STRETCHER BOND

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PAVING TYPE 5  
100 x 100 x 40mm AUSTRAL BLACK STONE SETTS IN 30% CHARCOAL OXIDE MORTAR

PAVING TYPE 6  
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PAVING TYPE 7 (HEADER WHERE ABUTS BUILDING EDGE) 400 x 200 x 50mm AUSTRAL COFFEE PAVERS, STRETCHER BOND

EXTENT OF TRAFFICABLE PAVING

**ALL STONE PAVERS TO BE P5 EXFOLIATED ROUGH FINISH + STRAIGHT/CUT EDGE**

RESIN BOUND GRAVEL

NEW FENCING TBC

GALVANIZED STEEL EDGE

EXISTING LEVELS

PROPOSED LEVELS

FIXED BOLLARD

REMOVABLE BOLLARD

SIGN POSTS

DIGITAL SIGNAGE

CONCRETE + TIMBER BENCHES BY GROUNDPLAY

CONCRETE + TIMBER SEATS WITH BACK + ARMRESTS BY GROUNDPLAY

CONCRETE + TIMBER SEATS WITH INTEGRATED LIGHTING BY GROUNDPLAY

HESS PEDESTRIAN LIGHTING POLES

AQUALUX LED LIGHTING STRIPS

TREE ROOT BARRIER TO ALL PLANTING BEDS WITH NEW TREES

C	FOR TENDER	CO	191108
B	FOR TENDER ISSUE - FOR COMMENT	CO	191004
A	70% DESIGN ISSUE - FOR COMMENT	CO	190527
No.	REVISION	BY	DATE

Title

**CHAPEL ST ELECTRICAL PRODUCT LAYOUT PLAN**

Project  
**JETTY ROAD, GLENELG MASTERPLAN IMPLEMENTATION**

Client  
**CITY OF HOLDFAST BAY**

**JENSEN PLUS** Planning Landscape Architecture Urban Design Social Planning

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Project No.	Category	Drawing No.
<b>P4818/JR/L106</b>		
Date	NOV 2019	Revision
Scale	1:100@A1	<b>C</b>
Issue	FOR TENDER	Checked LM
Drawn	CO	

### NOTES:

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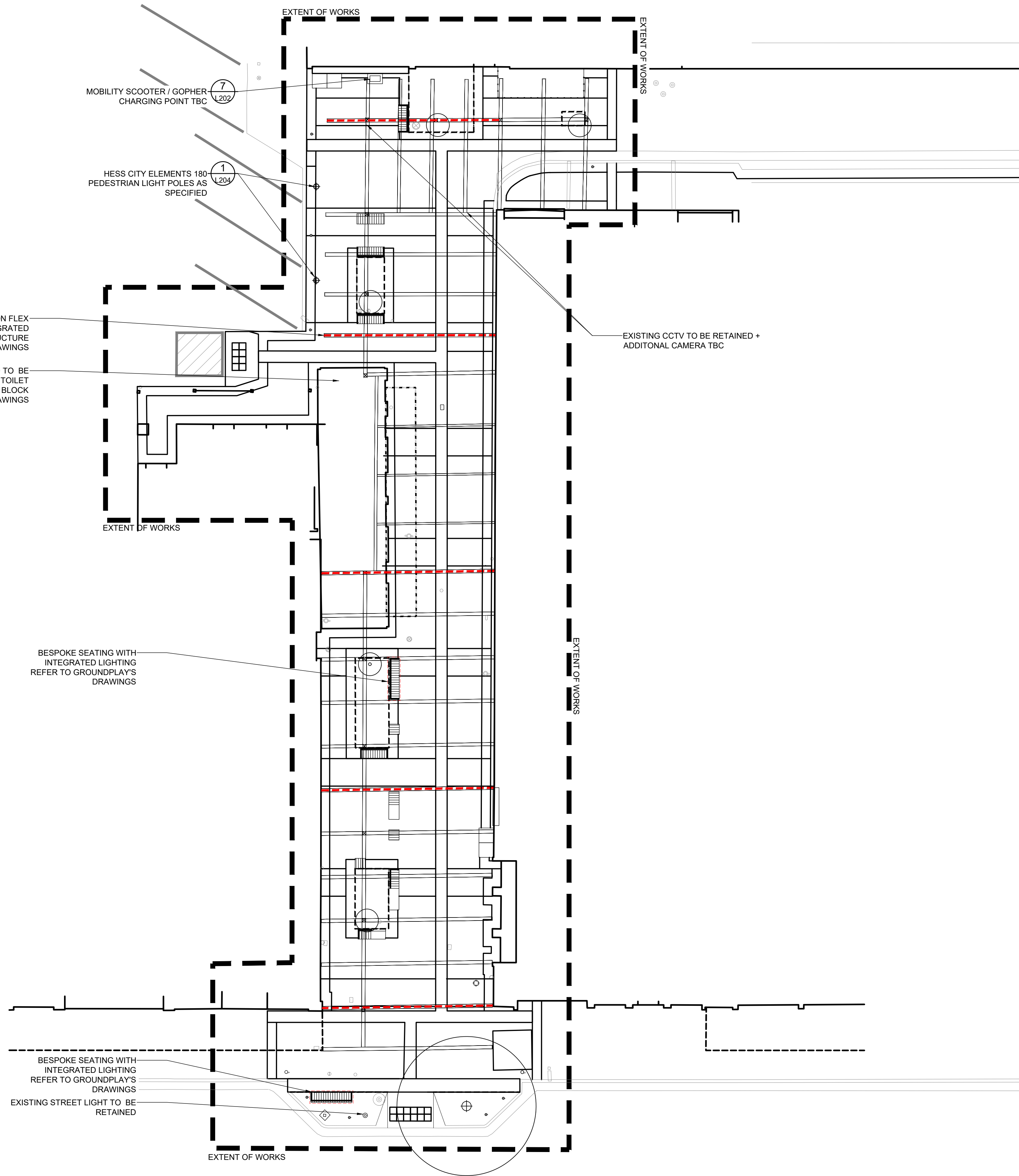
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SCALE 1:100





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HINDMARSH LANE LIGHTING + POWER PLAN

Project  
JETTY ROAD, GLENELG  
MASTERPLAN IMPLEMENTATION

Client  
CITY OF HOLDFAST BAY



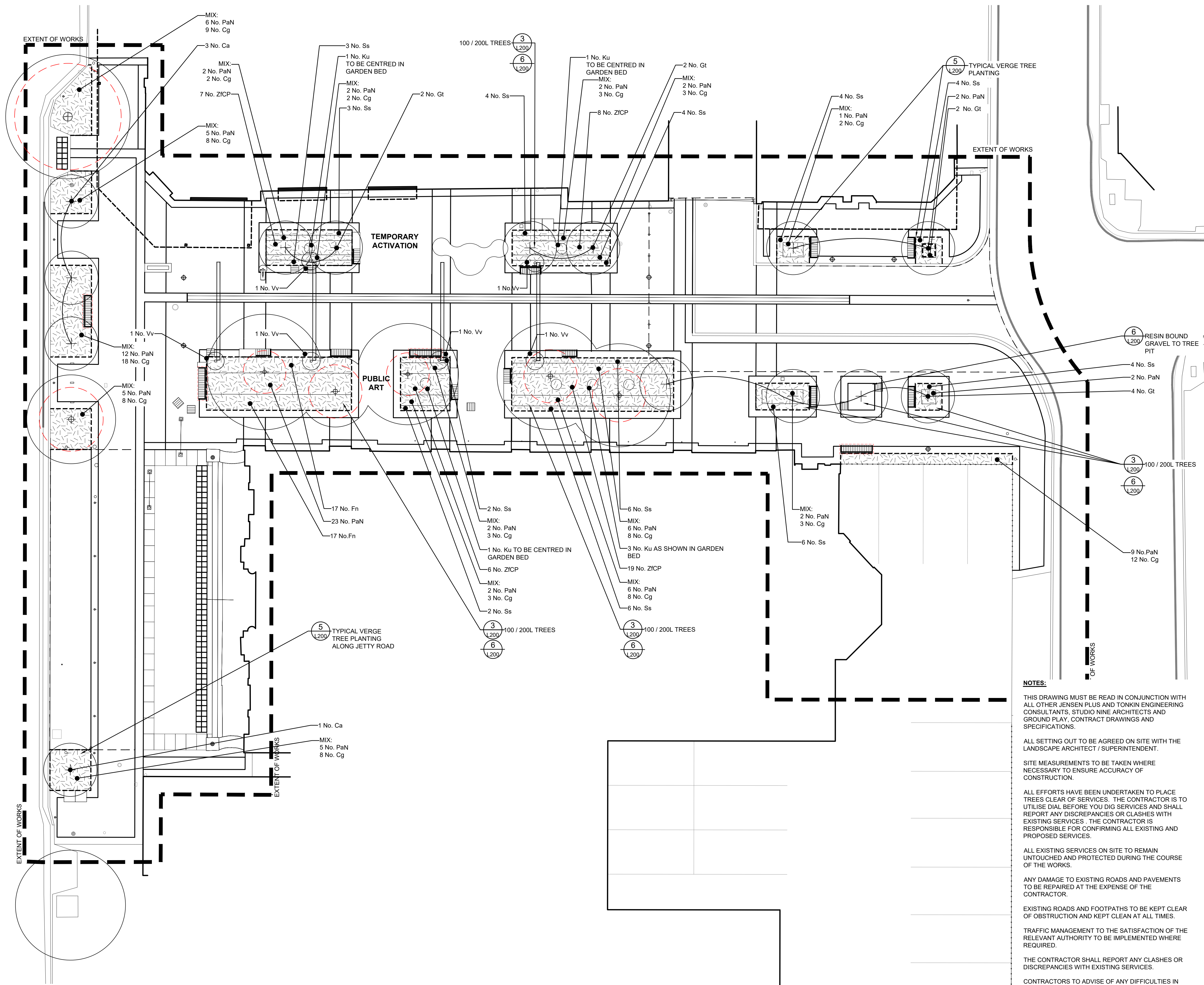
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P4818/JR/L107		
Date	NOV 2019	Revision
Scale	1:100@A1	C
Issue	FOR TENDER	Checked LM
Drawn	CO	

SCALE 1:100







**LEGEND**

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**CHAPEL ST SOFTSCAPE PLAN**

Project  
**JETTY ROAD, GLENELG  
MASTERPLAN IMPLEMENTATION**

Client  
**CITY OF HOLDFAST BAY**

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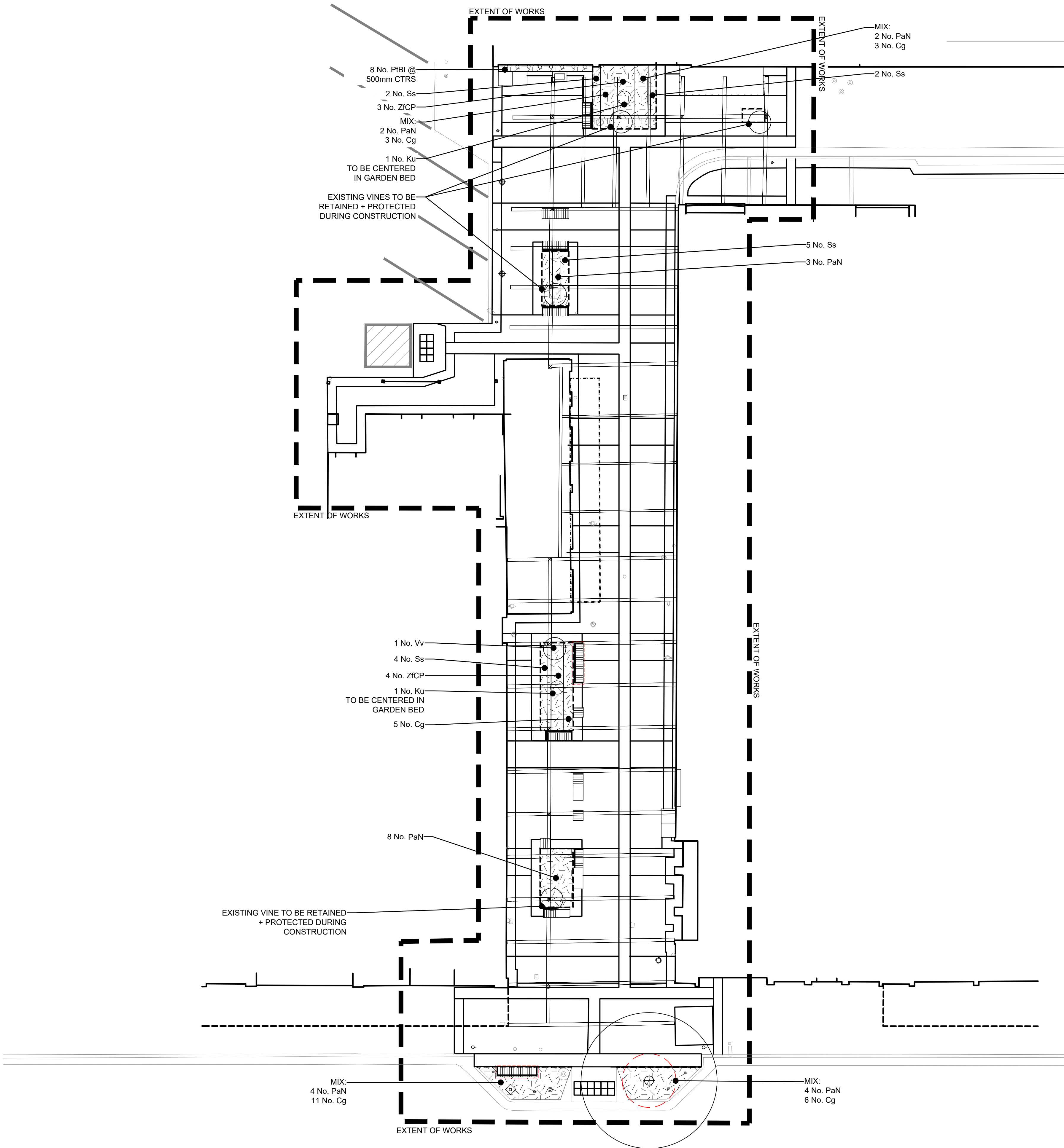
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Project No.	Category	Drawing No.
<b>P4818/JR/L109</b>		

Date	Revision
NOV 2019	

Scale	Issue	Drawn	Checked
1:100@A1	FOR TENDER	CO	LM





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CONTRACTORS TO ADVISE OF ANY DIFFICULTIES IN

TREE PROTECTION STANDARD

CONTRACTOR TO COMPLY WITH AS 4970 - 2009

GENERAL

THE CONTRACTOR IS TO DISPLAY A SIGN IN A PROMINENT POSITION AT EACH ENTRANCE TO THE SITE, WARNING THAT TREES AND PLANTINGS ARE TO BE PROTECTED DURING THE CONTRACT.

SIGNAGE IS TO BE INSTALLED AND A PROTECTION MEASURES PROGRAMME SUPPLIED BEFORE COMMENCEMENT OF EARTHWORKS.

TREES TO BE RETAINED

CONTRACTOR TO PREPARE A TREE PROTECTION PLAN BASED ON THE DESIGN ISSUES SET OUT IN AS 4970 SECTION 2 BEFORE COMMENCEMENT OF EARTHWORKS.

EXTENT: ALL TREES NOT MARKED FOR REMOVAL.

TREE PROTECTION

TREE PROTECTION ZONE: TO AS 4970 SECTION 3.

TREE PROTECTIVE MEASURES: TO AS 4970 SECTION 4.

MONITORING AND CERTIFICATION: TO AS 4970 SECTION 5.

WORK NEAR TREES

HARMFUL MATERIALS: KEEP THE AREA WITHIN THE DRIPLINE FREE OF SHEDS AND PATHS, CONSTRUCTION MATERIAL AND DEBRIS. DO NOT PLACE BULK MATERIALS AND HARMFUL MATERIALS UNDER OR NEAR TREES. DO NOT PLACE SPOIL FROM EXCAVATIONS AGAINST TREE TRUNKS. PREVENT WIND-BLOWN MATERIALS SUCH AS CEMENT FROM HARMING TREES AND PLANTS.

DAMAGE: PREVENT DAMAGE TO TREE BARK. DO NOT ATTACH STAYS, GUYS AND THE LIKE TO TREES.

WORK UNDER TREES: DO NOT REMOVE TOPSOIL FROM, OR ADD TOPSOIL TO, THE AREA WITHIN THE DRIPLINE OF THE TREES UNLESS OTHERWISE DOCUMENTED AND APPROVED.

EXCAVATION: IF EXCAVATION IS REQUIRED NEAR TREES TO BE RETAINED, GIVE NOTICE AND OBTAIN INSTRUCTIONS. OPEN UP EXCAVATIONS UNDER TREE CANOPIES FOR AS SHORT A PERIOD AS POSSIBLE.

CONSIDER NOMINATING THRUST BORING TO AVOID SERVICES TRENCHES WITHIN THE PRIMARY ROOT ZONE.

HAND METHODS: USE HAND METHODS TO LOCATE, EXPOSE AND CLEANLY REMOVE THE ROOTS ON THE LINE OF EXCAVATION. IF IT IS NECESSARY TO EXCAVATE WITHIN THE DRIP LINE, USE HAND METHODS SUCH THAT ROOT SYSTEMS ARE PRESERVED INTACT AND UNDAMAGED.

ROOTS: DO NOT CUT TREE ROOTS EXCEEDING 50 MM DIAMETER. WHERE IT IS NECESSARY TO CUT TREE ROOTS, USE MEANS SUCH THAT THE CUTTING DOES NOT UNDULY DISTURB THE REMAINING ROOT SYSTEM. IMMEDIATELY AFTER CUTTING, WATER THE TREE AND APPLY A LIQUID ROOTING HORMONE TO STIMULATE THE GROWTH OF NEW ROOTS. E.G. FORMULA 20® OR HORMONE 20®.

BACKFILLING: BACKFILL TO EXCAVATIONS AROUND TREE ROOTS WITH A MIXTURE CONSISTING OF THREE PARTS BY VOLUME OF TOPSOIL AND ONE PART OF WELL ROTTED COMPOST WITH A NEUTRAL PH VALUE, FREE FROM WEED GROWTH AND HARMFUL MATERIALS. PLACE THE BACKFILL LAYERS, EACH OF 300 MM MAXIMUM DEPTH, COMPACTED TO A DRY DENSITY SIMILAR TO THAT OF THE ORIGINAL OR SURROUNDING SOIL. DO NOT BACKFILL AROUND TREE TRUNKS TO A HEIGHT GREATER THAN 200 MM ABOVE THE ORIGINAL GROUND SURFACE. IMMEDIATELY AFTER BACKFILLING, THOROUGHLY WATER THE ROOT ZONE SURROUNDING THE TREE.

COMPACTED GROUND: DO NOT COMPACT THE GROUND OR USE SKID-STEEL VEHICLES UNDER THE TREE DRIPLINE. IF COMPACTION OCCURS, GIVE NOTICE AND OBTAIN INSTRUCTIONS.

COMPACTION PROTECTION: PROTECT AREAS ADJACENT TO THE TREE DRIPLINE. SUBMIT PROPOSALS FOR AN ELEVATED PLATFORM TO SUIT THE PROPOSED EARTHWORKS MACHINERY.

WATERING: WATER TREES AS NECESSARY, INCLUDING WHERE ROOTS ARE EXPOSED AT AMBIENT TEMPERATURE > 35°C.

LEGEND

- EXTENT OF LANDSCAPE WORKS IN THIS PORTION
- RETAINED TREES
- 200L TREES
- 45L TREES
- TREE PROTECTION ZONE TO COMPLY WITH AS 4970-2009
- SHRUB PLANTING
- PAVING TYPE 1 900 x 600 x 50mm JUPERANA FLAGSTONE PAVERS, STRETCHER BOND
- PAVING TYPE 2 (+ HEADER WHERE ABUTS BUILDING EDGE) 400 x 200 x 50mm JUPERANA PAVERS, STRETCHER BOND
- PAVING TYPE 3 230 x 110 x 50mm JUPERANA TRAFFICABLE PAVERS, HERRINGBONE
- PAVING TYPE 4A-D (+ HEADER WHERE ABUTS BUILDING EDGE AS SHOWN) ASSORTED SIZED AUSTRAL COFFEE, STRETCHER BOND
- PAVING TYPE 5 100 x 100 x 40mm AUSTRAL BLACK STONE SETTS IN 30% CHARCOAL OXIDE MORTAR
- PAVING TYPE 6 300 x 300 x 40mm HAZARD TACTILE PAVERS TYPE 6A WESTERN CREAM @ PRAM RAMPS, TYPE 6B CHARCOAL @ CHURCH, SHOTBLAST
- PAVING TYPE 7 (+ HEADER WHERE ABUTS BUILDING EDGE) 400 x 200 x 50mm AUSTRAL COFFEE PAVERS, STRETCHER BOND
- EXTENT OF TRAFFICABLE PAVING
- ALL STONE PAVERS TO BE P5 EXFOLIATED ROUGH FINISH + STRAIGHT/CUT EDGE
- RESIN BOUND GRAVEL
- NEW FENCING TBC
- GALVANIZED STEEL EDGE
- EXISTING LEVELS
- PROPOSED LEVELS
- FIXED BOLLARD
- REMOVABLE BOLLARD
- SIGN POSTS
- DIGITAL SIGNAGE
- CONCRETE + TIMBER BENCHES BY GROUNDPLAY
- CONCRETE + TIMBER SEATS WITH BACK + ARMRESTS BY GROUNDPLAY
- CONCRETE + TIMBER SEATS WITH INTEGRATED LIGHTING BY GROUNDPLAY
- HESS PEDESTRIAN LIGHTING POLES
- AQUALUX LED LIGHTING STRIPS
- TREE ROOT BARRIER TO ALL PLANTING BEDS WITH NEW TREES



D	FOR TENDER	CO	191108
C	FOR TENDER ISSUE - FOR COMMENT	CO	191004
B	70% DESIGN ISSUE - FOR COMMENT	CO	190527
A	30% DESIGN ISSUE - FOR COMMENT	CO	190326
No.	REVISION	BY	DATE

HINDMARSH LANE SOFTSCAPE PLAN

Project  
JETTY ROAD, GLENELG  
MASTERPLAN IMPLEMENTATION

Client  
CITY OF HOLDFAST BAY

**JENSEN PLUS** Planning Landscape Architecture Urban Design Social Planning

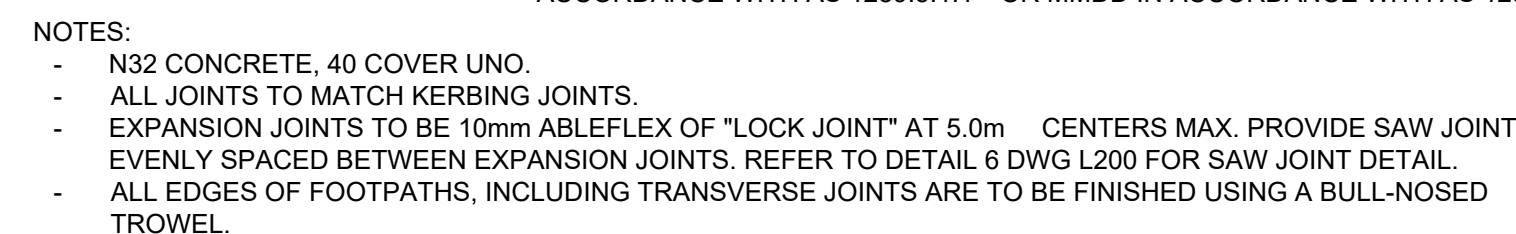
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Project No.	Category	Drawing No.
P4818/JR/L110		
Date	NOV 2019	Revision
Scale	1:100@A1	D
Issue	FOR TENDER	Checked LM
Drawn	CO	

9 Meters  
8  
7  
6  
5  
4  
3  
2  
1  
0  
SCALE 1:100





2 CONCRETE PAD (NON TRAFFICABLE)  
L200 SECTION SCALE 1:10



**RIVER PEBBLES TO HELP RETAIN FOREST MULCH WITHIN BEDS. CONTRACTOR THEREFORE SHOULD PROVIDE EVEN COVERAGE ACROSS ENTIRE BED AT SUITABLE DEPTH TO ENTIRELY COVER FOREST MULCH**

CONTRACTORS TO ADVISE OF ANY DIFFICULTIES IN  
CONSTRUCTION AS DETAILED



C	FOR TENDER	CO	191108
B	FOR TENDER ISSUE - FOR COMMENT	CO	191004
A	70% ISSUE FOR COMMENT	CO	190527
No.	REVISION	BY	DATE

**JENSEN  
PLUS**  Planning  
Landscape Architecture  
Urban Design  
Social Planning

P4818/JR/L200

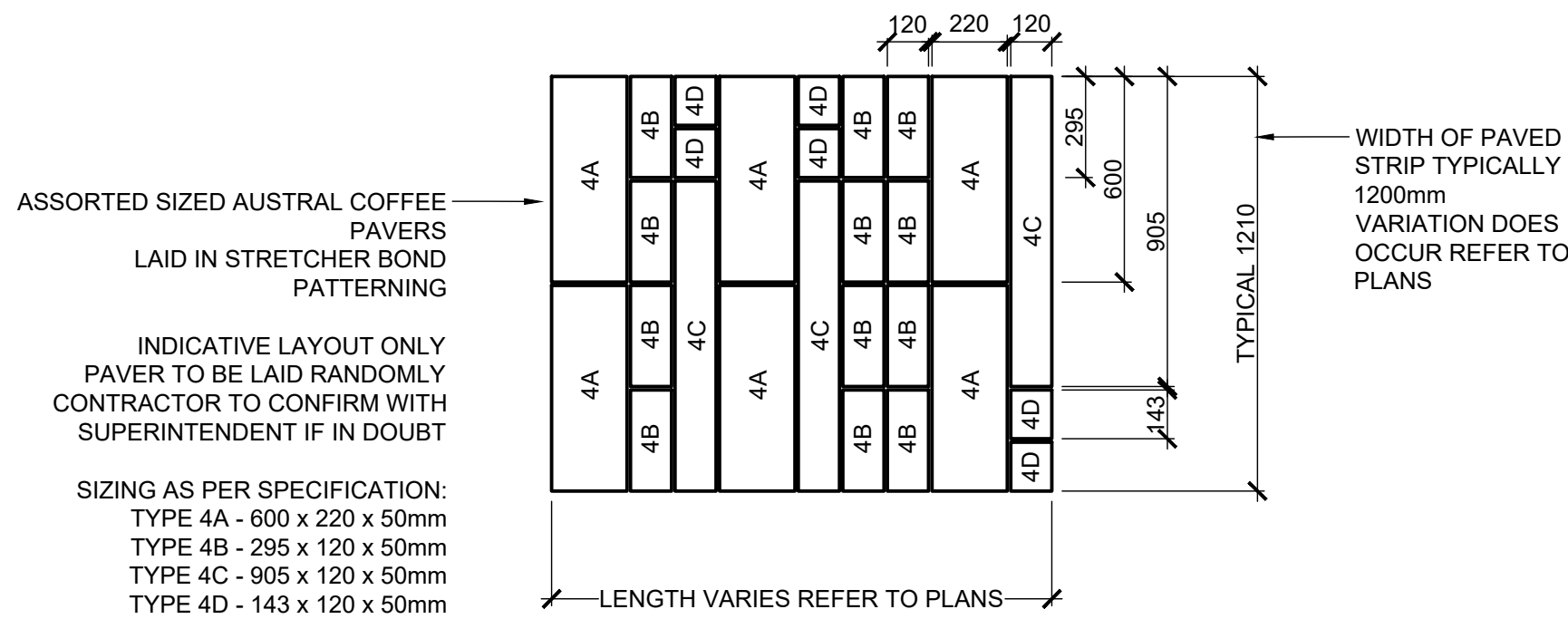
Date	NOV 2019	Revision
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Scale VARIES

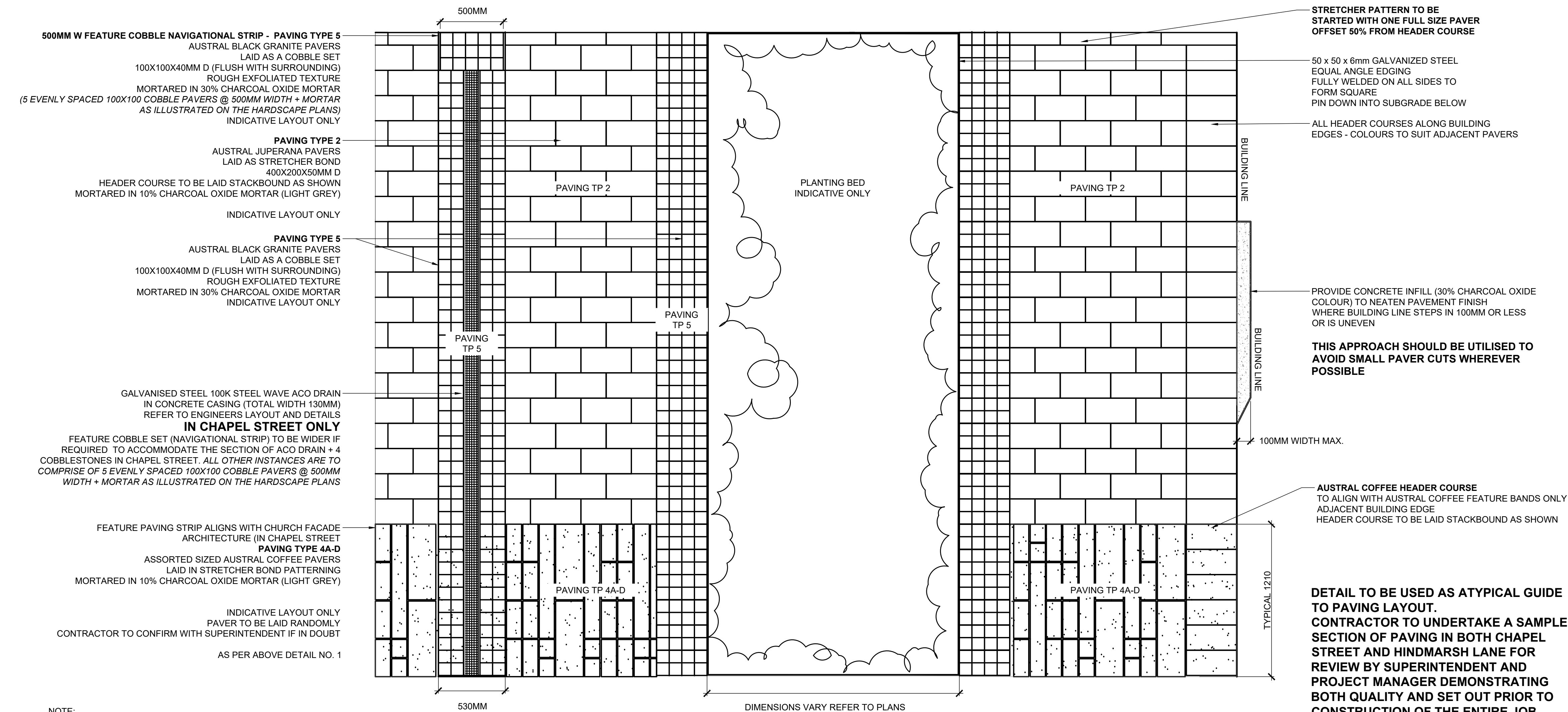
Issue FOR TENDER  
Drawn CO Checked

5	0	5	10	15	20 Metres
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1 TYPICAL ASSORTED SIZED AUSTRAL COFFEE FEATURE PAVING STRIP PATTERN  
L201 PLAN SCALE 1:20



2 TYPICAL PAVING LAYOUT  
L201 PLAN SCALE 1:20

**NOTES:**

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**AILA**

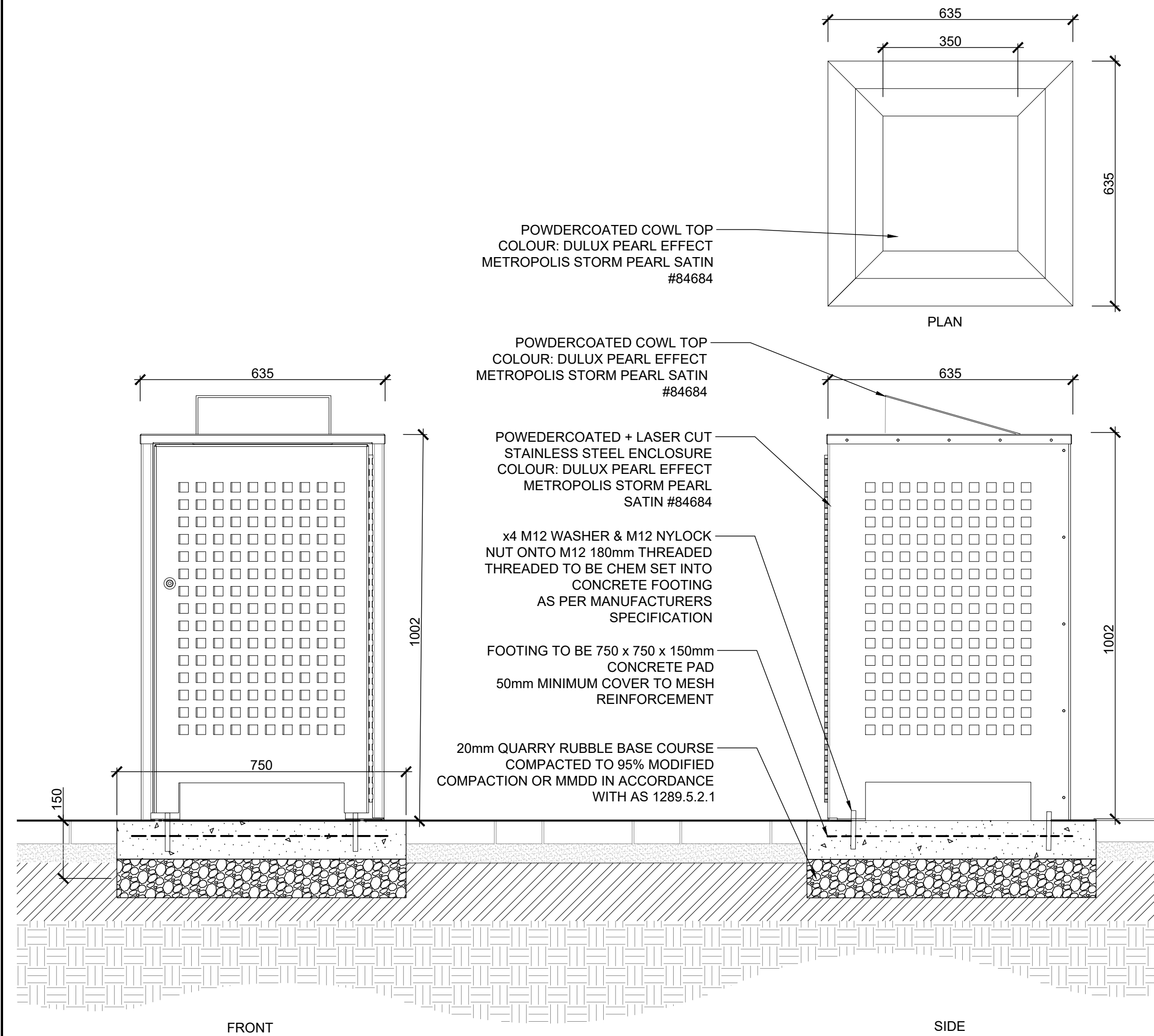
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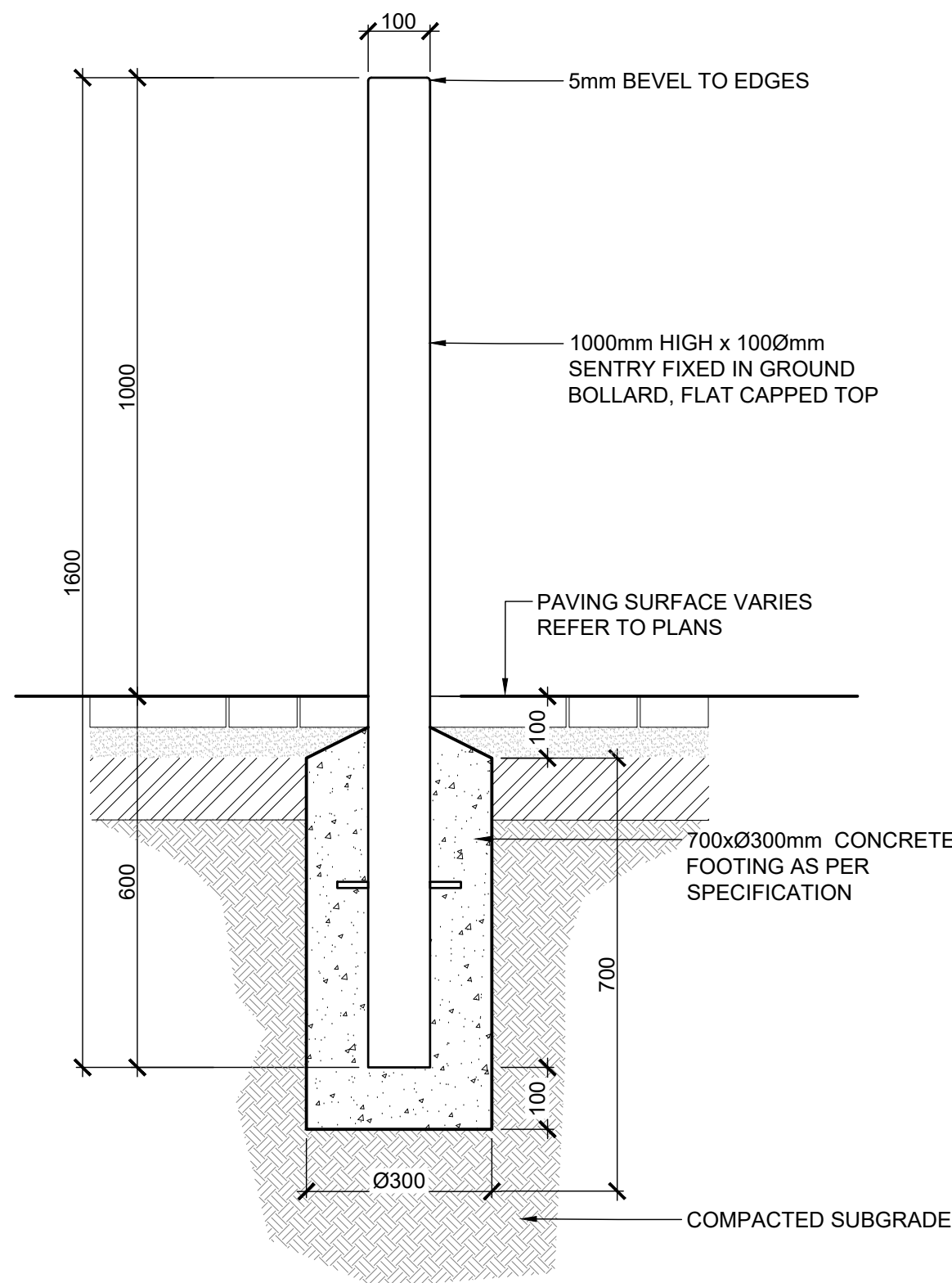
Project No.	Category	Drawing No.
P4818/JR/L201		
Date	NOV 2019	Revision
Scale	1:20 @ A1	C
Issue	FOR TENDER	Checked LM
Drawn	CO	





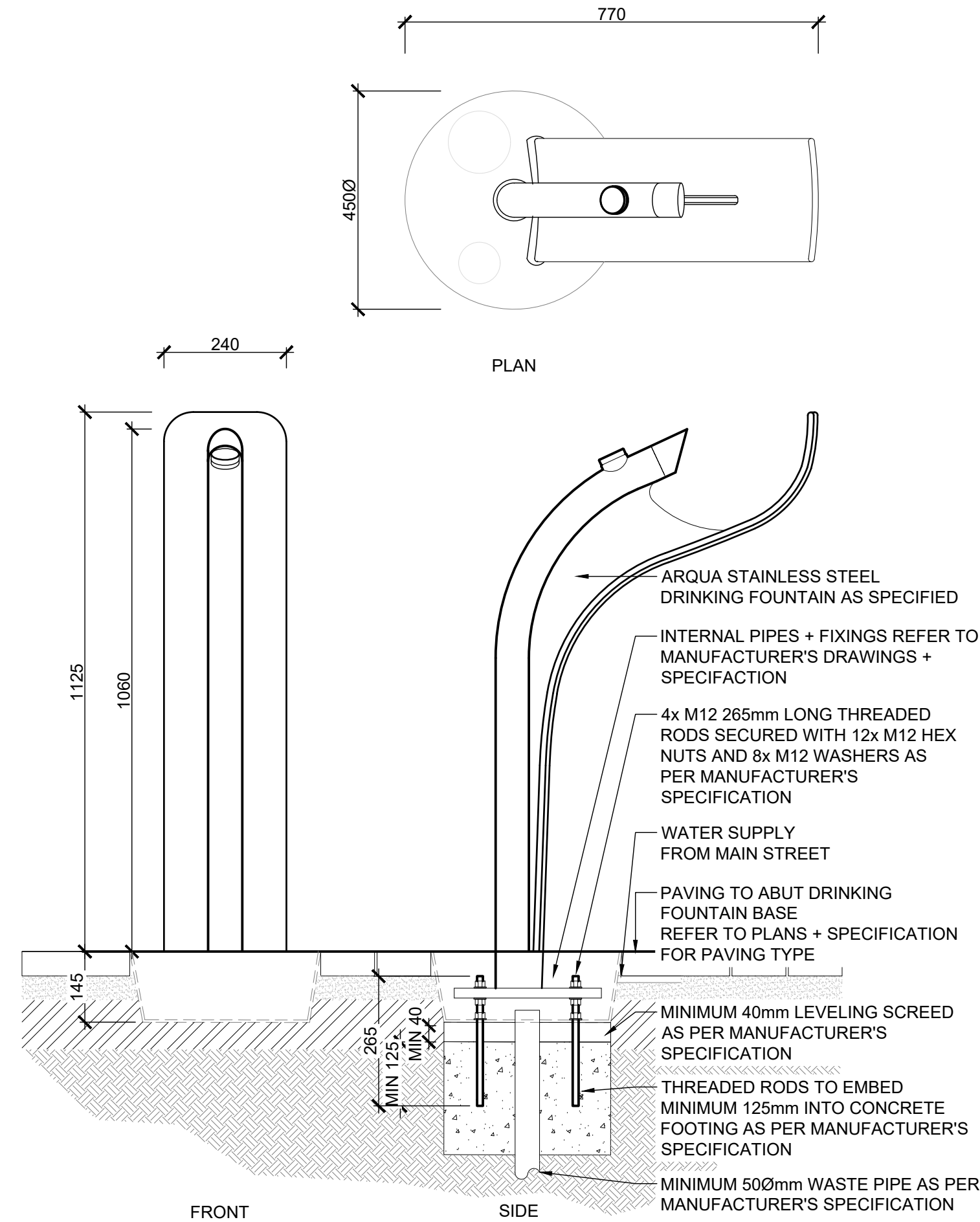
- NOTES:
1. ALL BINS AND STREET FURNITURE COMPONENTS ARE TO BE INSTALLED LEVEL
  2. THE CONTRACTOR IS TO ASCERTAIN HEIGHTS OF INDIVIDUAL PACKERS ON A CASE BY CASE BASIS
  3. IF ANY FURNITURE ITEM CANNOT BE INSTALLED LEVEL IT IS TO BE BOUGHT TO THE SUPERINTENDENT'S ATTENTION PRIOR TO INSTALLATION

1 120L STANDARD BIN ENCLOSURE WITH COWL  
PLAN + ELEVATIONS SCALE 1:10

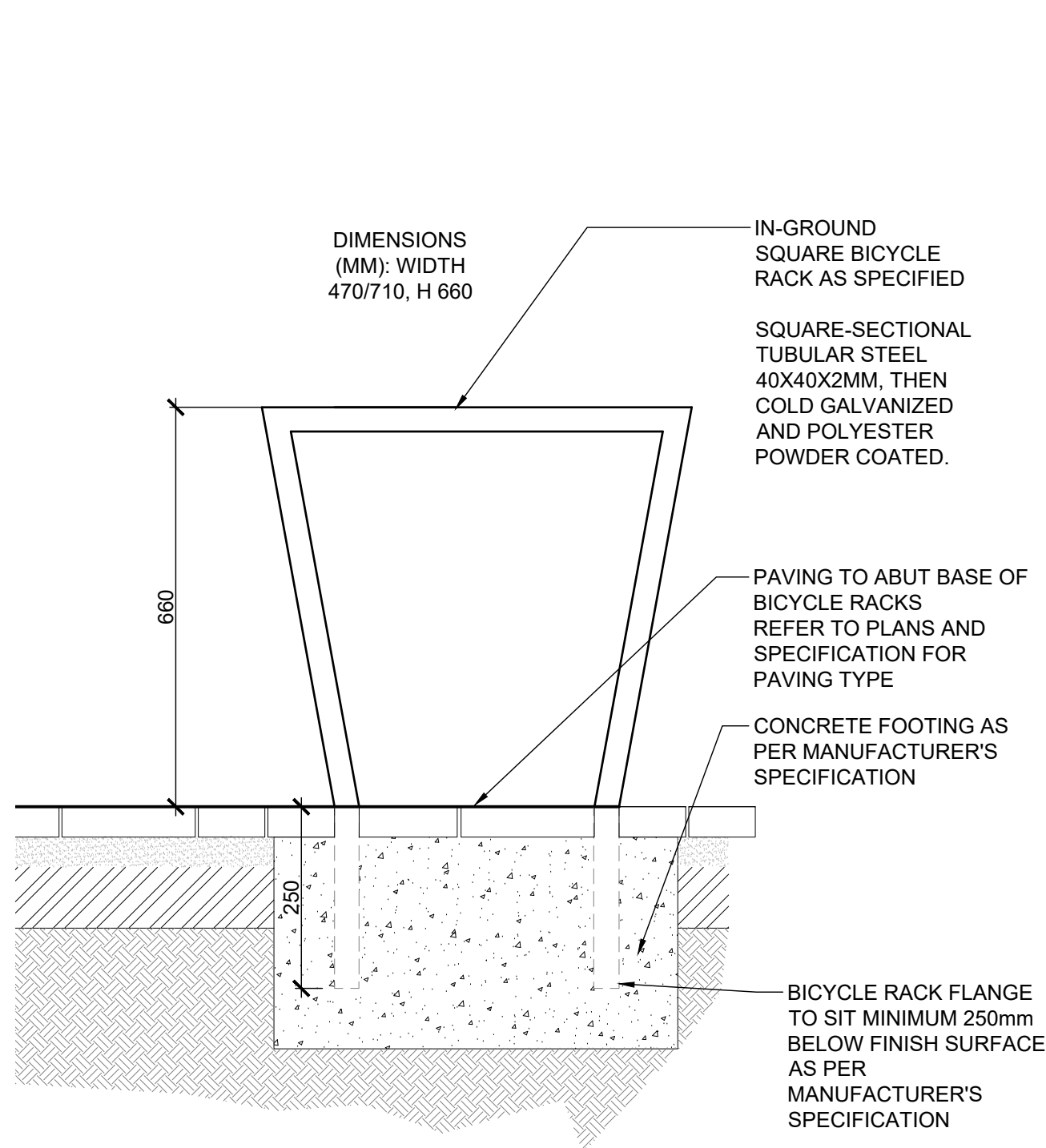


- NOTES:
1. BOLLARDS TO BE INSTALLED AT 1200mm CENTRES IN LOCATIONS AS SHOWN ON PLANS. SUPERINTENDENT TO CONFIRM LOCATIONS PRIOR TO INSTALLATION.

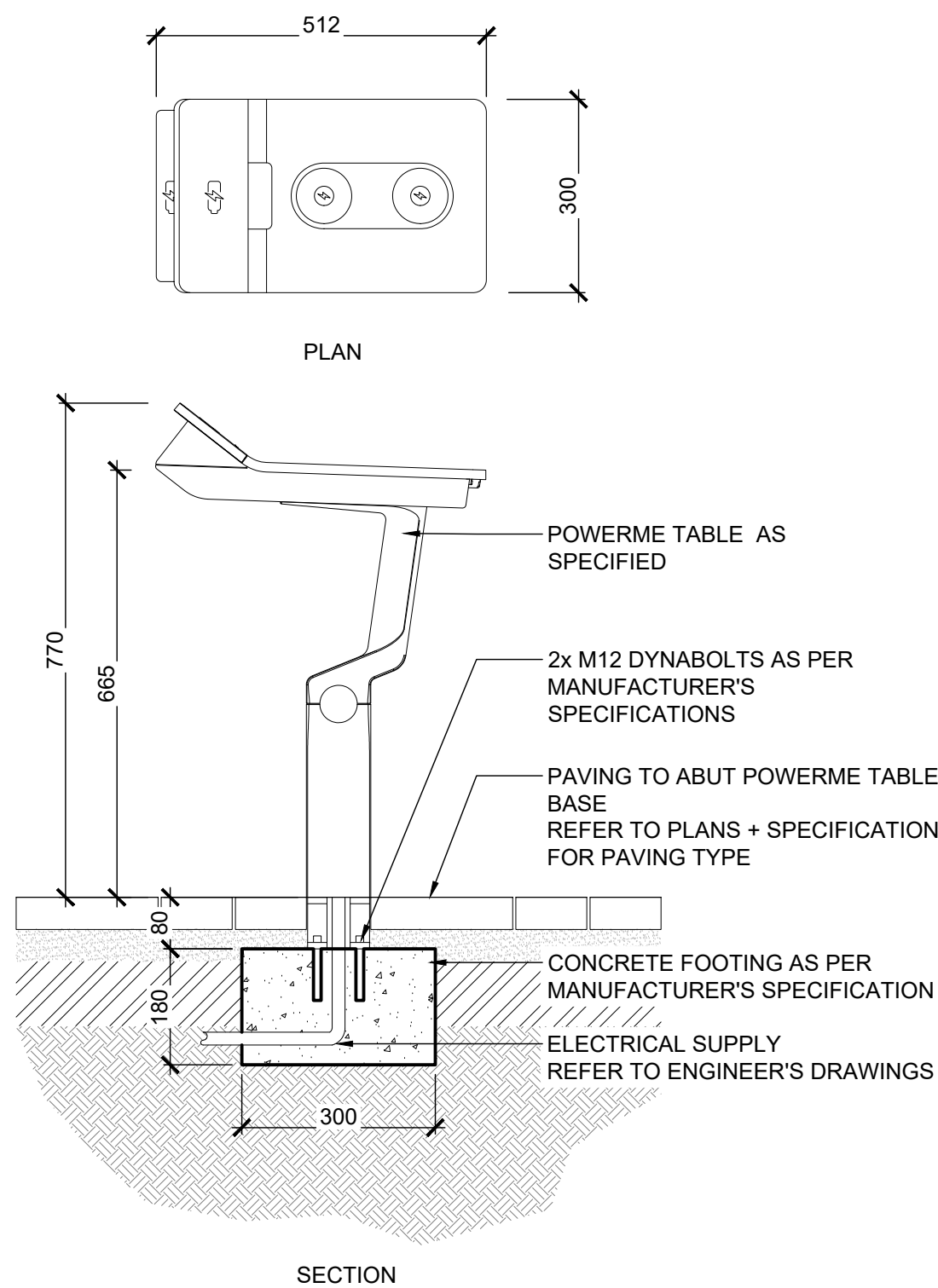
2 IN-GROUND FIXED SENTRY BOLLARD  
SECTION SCALE 1:10



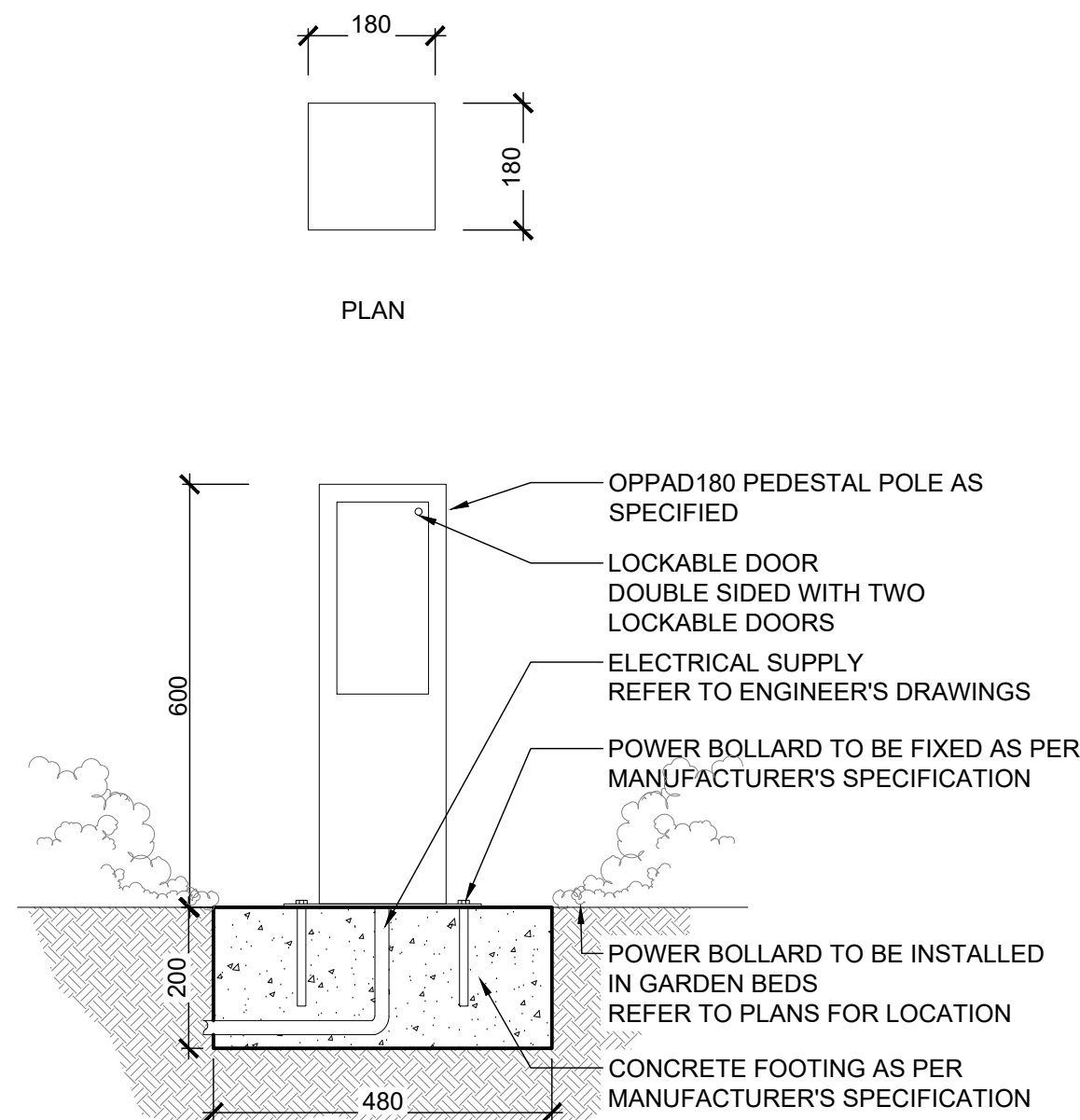
3 ARQUA DRINKING FOUNTAIN WITH DOG BUBBLER  
PLAN, ELEVATION + SECTION SCALE 1:10



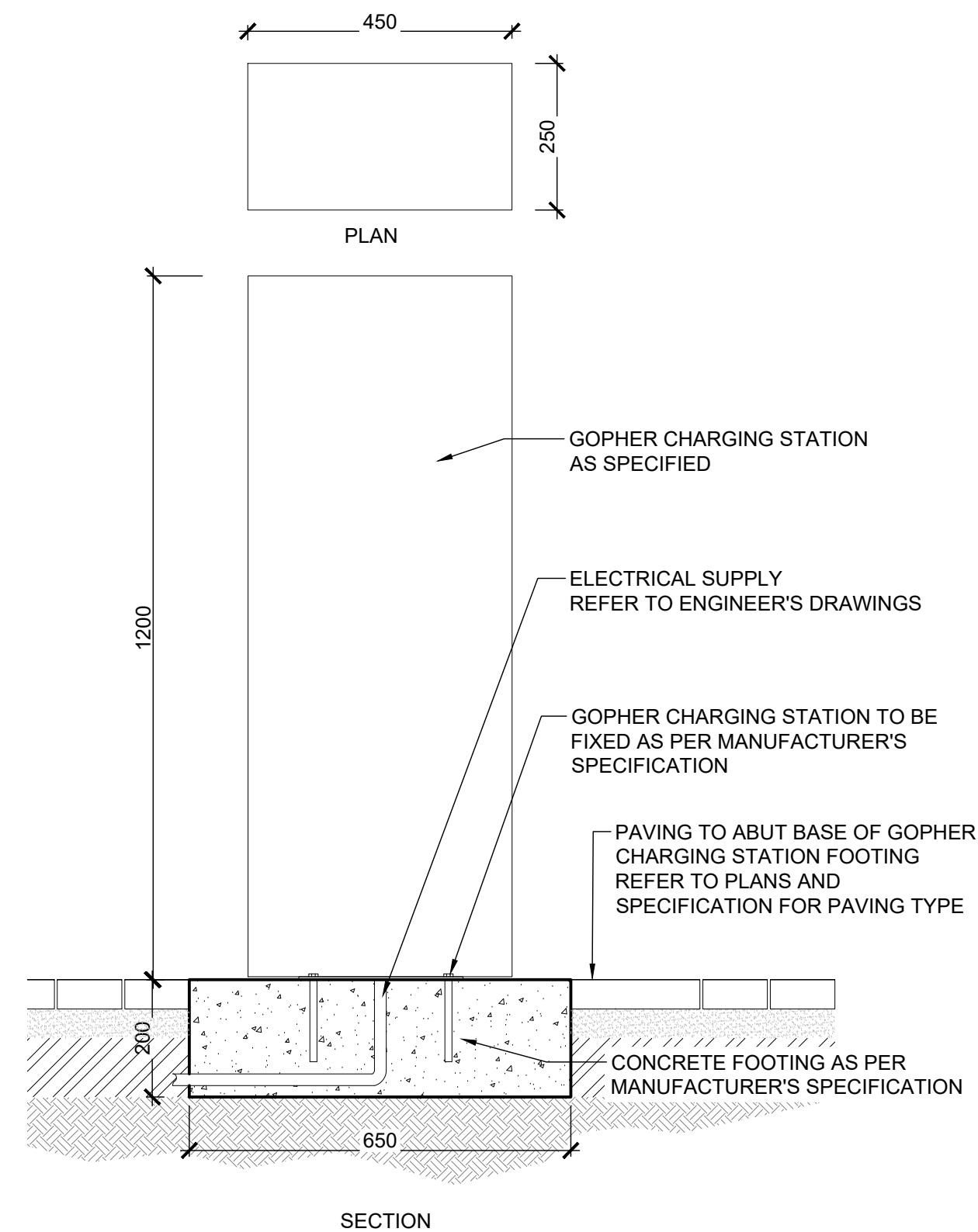
4 ITALIAN LAB SQUARE BICYCLE RACK  
SECTION SCALE 1:10



5 POWERME TABLE  
PLAN + SECTION SCALE 1:10



6 OPPAD180 POWER BOLLARD  
PLAN + SECTION SCALE 1:10



7 GOPHER CHARGING STATION  
PLAN + SECTION SCALE 1:10

NOTES:  
CONTRACTOR TO APPLY TO SA WATER FOR WATER  
METER INSTALLATION + UNDERTAKE PLUMBING  
TO/FROM NEW DRINKING FOUNTAIN

NOTES:

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C	FOR TENDER	CO	191108
B	FOR TENDER ISSUE - FOR COMMENT	CO	191004
A	70% ISSUE FOR COMMENT	CO	190527
No.	REVISION	BY	DATE

FURNITURE DETAILS

Project  
JETTY ROAD, GLENELG  
MASTER PLAN IMPLEMENTATION

Client  
CITY OF HOLDFAST BAY



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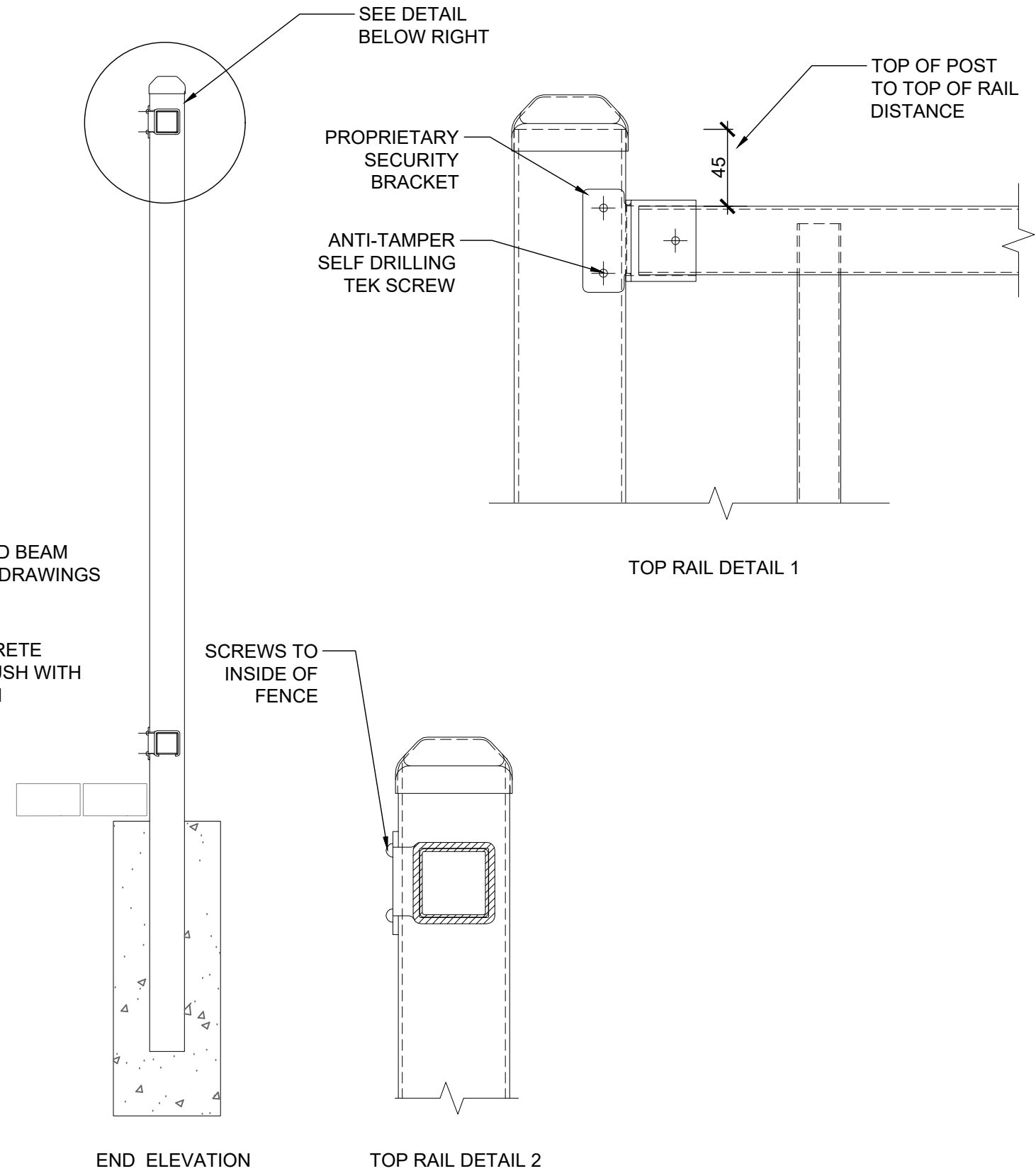
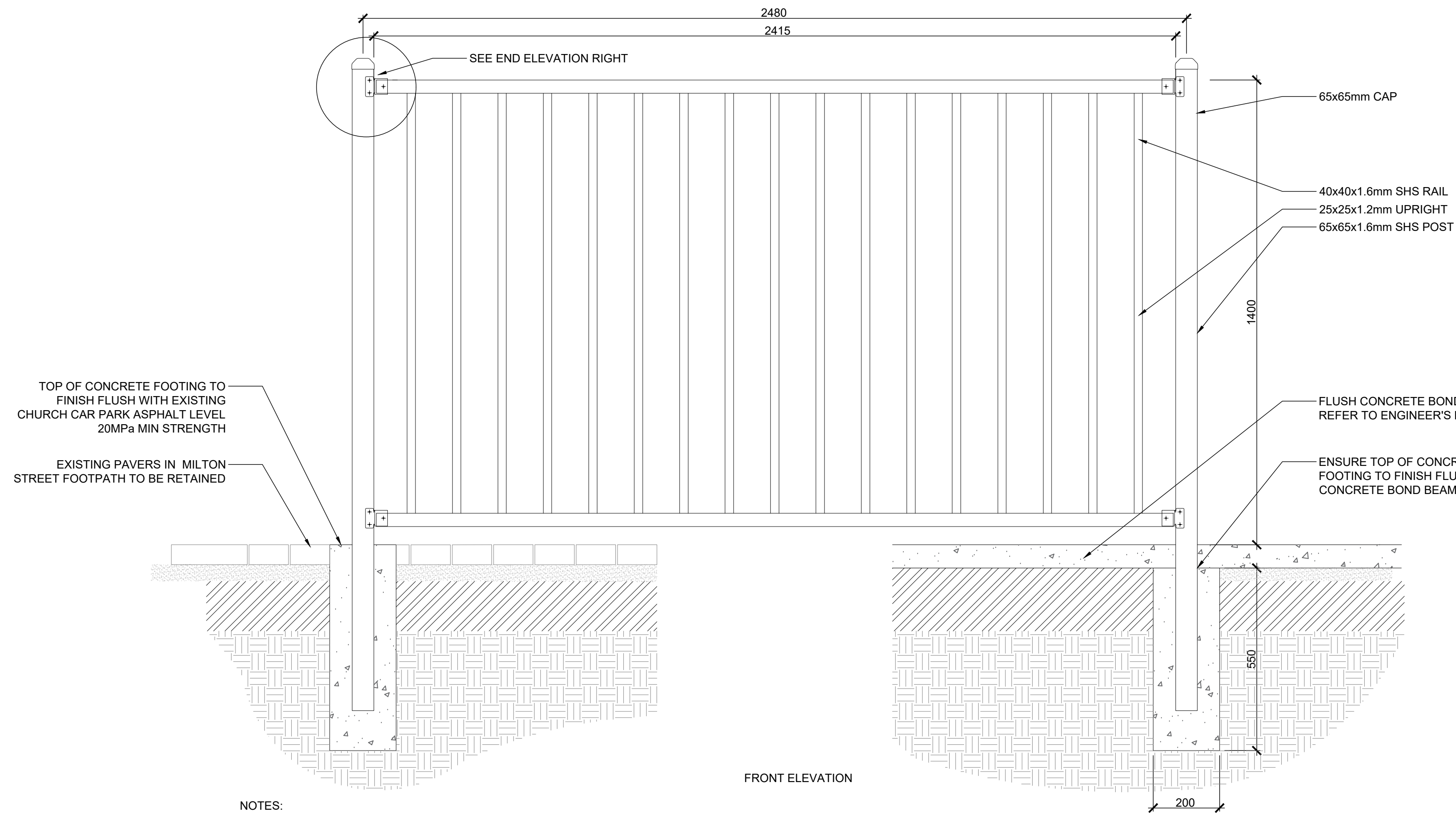
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Project No. Category Drawing No.

P4818/JR/L202

Date NOV 2019 Revision  
Scale 1:10 @ A1  
Issue FOR TENDER  
Drawn CO Checked LM



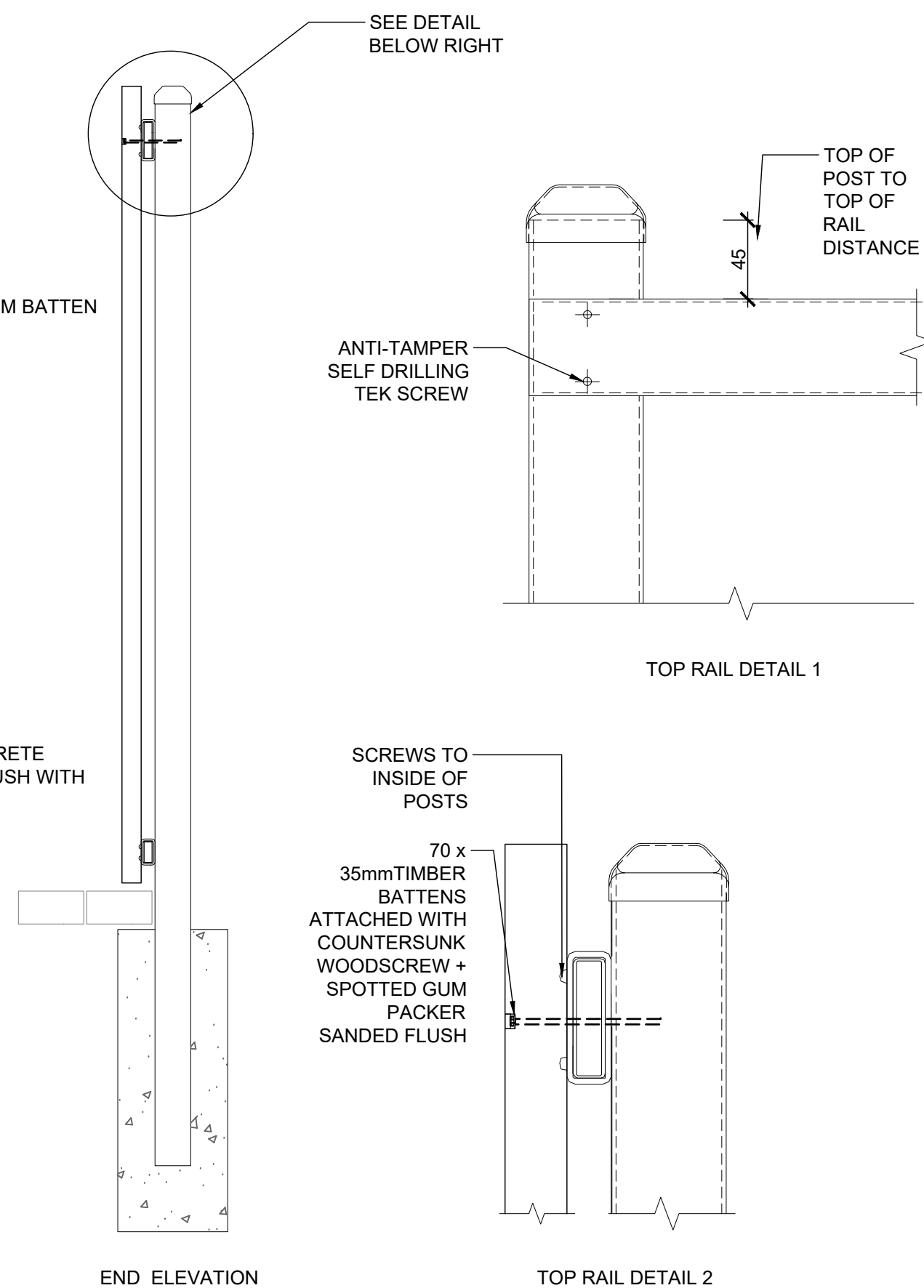
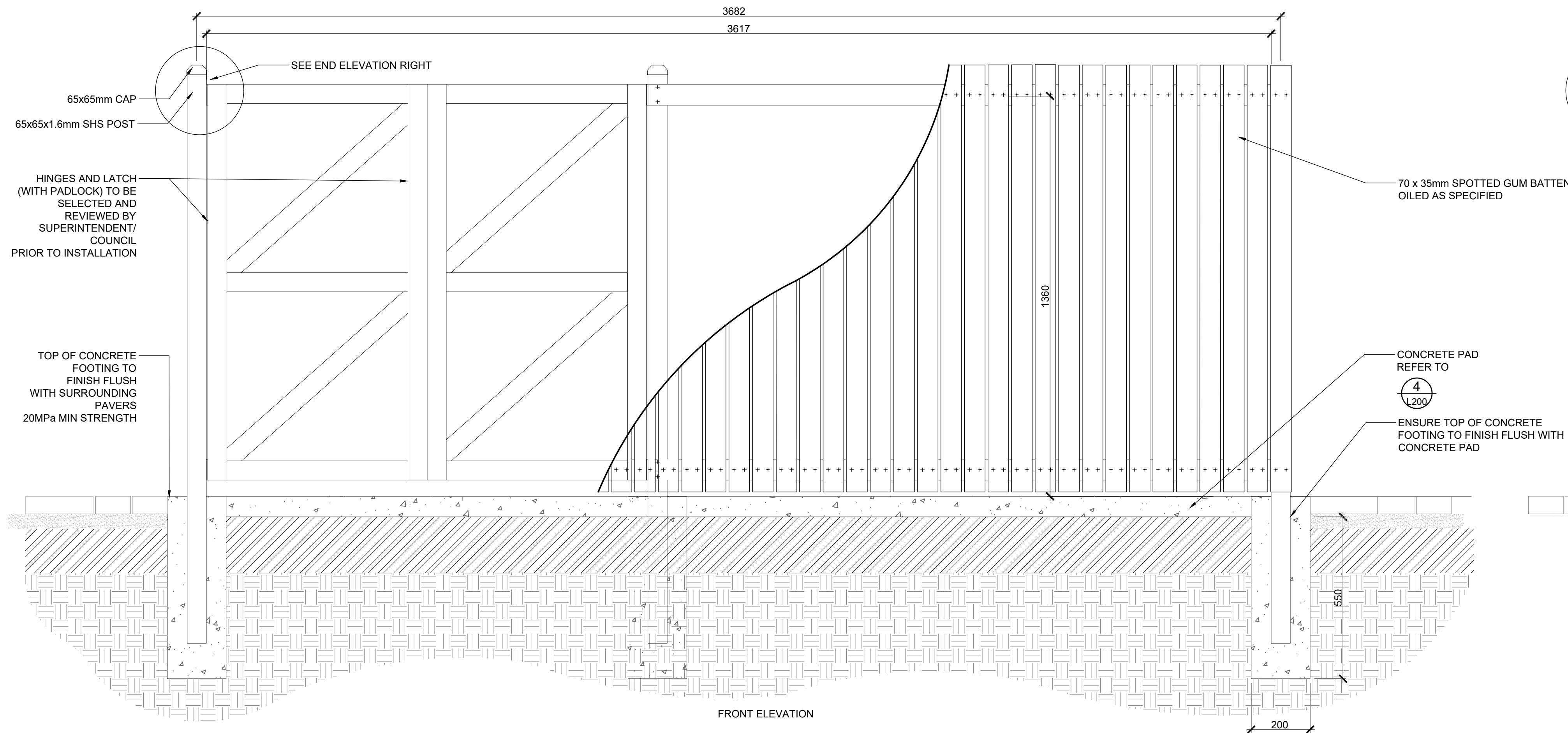


NOTES:  
FENCE DETAIL INDICATIVE ONLY. FABRICATOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL

1  
L203

## CHURCH CARPARK FENCE

ELEVATION + DETAILS SCALE 1:10



NOTES:  
FENCE DETAIL INDICATIVE ONLY. FABRICATOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL

2  
L203

## BIN STORAGE SCREENING

ELEVATION + DETAILS SCALE 1:10

### NOTES:

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C	FOR TENDER	CO	191108
B	FOR TENDER ISSUE - FOR COMMENT	CO	191004
A	70% ISSUE FOR COMMENT	CO	190527
No.	REVISION	BY	DATE

### FENCING DETAILS

Project  
JETTY ROAD, GLENELG  
MASTER PLAN IMPLEMENTATION

Client  
CITY OF HOLDFAST BAY



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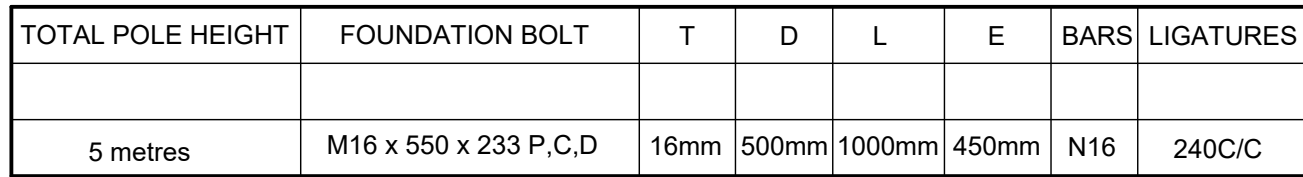
Date NOV 2019 Revision

Scale VARIES




Issue FOR TENDER

Drawn CO Checked LM

SCALE 1:250  
0  
5  
10  
15  
20 Metres



# 1 HESS 180 PEDESTRIAN LIGHTING POLE L204 SECTION NTS SCALE

 <b>AILA®</b>			
B	FOR TENDER	CO	191108
A	FOR TENDER ISSUE - FOR COMMENT	CO	191004
	REVISION	BY	DATE
Title			
LIGHTING DETAILS			
Project			
JETTY ROAD, GLENELG MASTER PLAN IMPLEMENTATION			
Client			
CITY OF HOLDFAST BAY			
		Planning Landscape Architecture Urban Design Social Planning	
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Project No.	Category	Drawing No.	
<b>P4818/JR/L204</b>			
Date	NOV 2019	Revision	
Scale	NTS	<b>B</b>	
Drawn	FOR TENDER		
Issue	CO	Checked	LM

# Chapel Street Plaza and Hindmarsh Lane Upgrade –

## Final Design Explanation

The following provides an explanation of changes and refinement of designs since 70% completion and answers to outstanding queries.

### *Environmental Sustainability Improvements*

- Green infrastructure will be installed to capture roof stormwater from adjoining buildings will be redirected into the tree beds within Chapel Plaza.
- Garden beds in both Chapel Plaza and Hindmarsh Lane are increased in size to capture additional surface runoff and reduce the expanse of paving.

### *Trees*

- Council arborist assessed the central Hindmarsh Lane Hackberry tree to be in poor health (woolly aphids) and too large for the space and supports removal. One small Gleditsia will be removed in Chapel Plaza.
- Two new Celtis Australis trees will be planted in Chapel Plaza adjacent Jetty Rd, to compliment the 10 new Gleditsia tricanthos and the 5 retained Gleditsias.

### *New Stage / Platform Design*

- This platform replaces the stage structure seen in previous designs. This design will create a point of interest within the plaza and allow for flexible use including sitting and use as a stage for informal and formal use.

### *Accessibility improvements*

- An additional paver type (Austral Black Granite) has been selected to contrast the Juperana stone paving.
- Will be used at edges of spaces (garden beds, parking bays) change in levels (roadway) and for use along the wayfinding navigational strip connecting Chapel Street and Hindmarsh Lane.

### *Street Furniture Update*

- Ergonomics of the bespoke seats have been improved with additional seat overhanging the base.
- Layout and positioning of seats has been reconfigured to maximise use and flexibility.
- Cost of bespoke chairs comparable to proprietary bench in council style guide (recently installed at Minda Coast Park).
- Drinking fountain selected from style guide includes ground level dog bowl.
- Three ash cans will be installed – one in Hindmarsh Lane and two in Chapel Plaza.

### *Lighting*

- Reflect new Jetty Rd lighting masterplan and includes provision for up lighting St Andrews Church.
- Smart Lighting Pole – will include CCTV and smart controls for energy efficiency.
- Digital sign – orientation for safety.











