

REPORT TO:	COUNCIL ASSESSMENT PANEL
DATE:	25 MARCH 2020
SUBJECT:	APPEAL ITEM – 110/00668/19 – 29 PATAWALONGA FRONTAGE, GLENELG NORTH
WRITTEN BY:	DEAN SPASIC – DEVELOPMENT OFFICER PLANNING
ATTACHMENTS:	<p>A. COMPROMISE PLANS</p> <p>B. ORIGINAL REPORT</p> <ol style="list-style-type: none"> <li>1. LOCALITY MAP</li> <li>2. ORIGINAL PLANS</li> <li>3. STATEMENTS OF REPRESENTATIONS</li> <li>4. APPLICANT’S REPLY TO REPRESENTATIONS</li> </ol>

## 1. Background

*On the 22 January 2020, the Council Assessment Panel refused DA 110/00668/19 for the reasons that the application was contrary to:*

*Development Application 110/00668/19 should be refused Development Plan Consent for the reason that it is contrary to General Section (Residential Development) Principles 19, 20(a), 21, 25 and 26, and the Desired Character Statement for the Residential Zone. More specifically, the application does not meet the intent of the Development Plan in relation to:*

- *The excessive length and insufficient setback of the second storey wall to the rear boundary;*
- *The primary road setback being too close to Patawalonga Frontage;*
- *The secondary road setback being too close to Lewis Street; and*
- *The proposal being at variance with the Desired Character Statement in so far as the proposed dwelling is not considered an unobtrusive small scale development.*

*The applicant has lodged an appeal with the Environment, Resources and Development Court. A compromise plan has been submitted for the Panel’s consideration.*

## 2. Compromise proposal

The applicant has submitted a revised set of plans as a compromise to the plans which were previously refused by the Panel. A summary of the amendments are as follows:

The building has been altered to achieve increased primary street boundary setbacks, including:

- The garage is now setback 7 metres in lieu of 6.17 metres;
- The dwelling is now setback 5.6 metres adjacent to the garage in lieu of 5 metres;
- The dwelling is now setback 6.4 metres adjacent to the corner of the site in lieu of 4.3 metres; and
- The closest point of the dwelling remains at 4.3 metres, however this comprises a smaller portion of the building wall

3. Assessment

The compromise plan demonstrates compliance with one of the reasons for refusal. It is acknowledged that the other reasons for refusal (secondary street setback, upper level setback relative to the rear boundary and proposal not being small scale, unobtrusive development (although this is a very subjective provision, subject to different interpretation) are not satisfied.

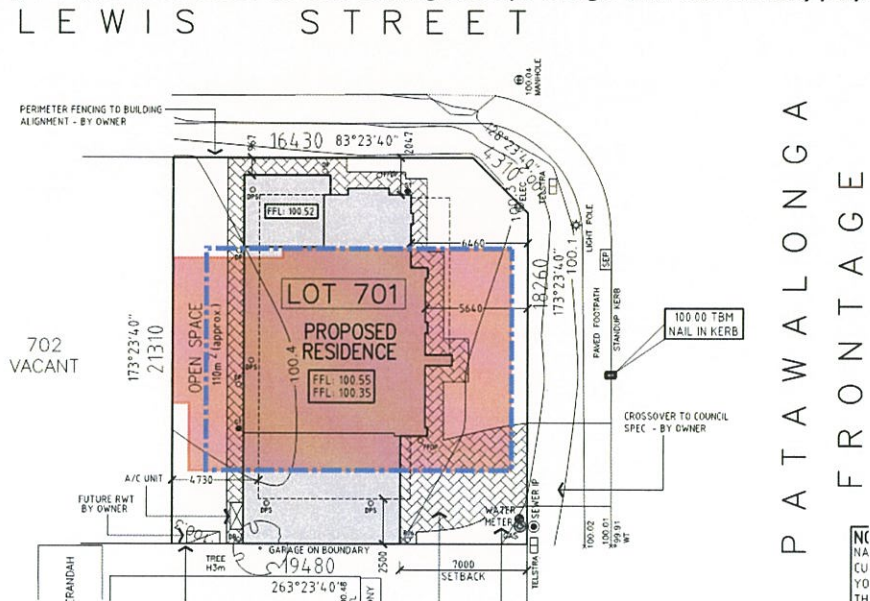
With regards to the secondary street setback, it is reasonable to have regard to the fact that the site is within a prescribed area for residential code assessment, which would allow a 900mm secondary street setback to the ground and upper level walls.

With regards to the upper level setback relative to the rear boundary, it is reasonably expected that the proposal would fail to achieve a 6 metre setback, particularly as the site is only 19.48 metres deep, hence limiting the overall building depth, particularly where attempting to achieve a reasonable front setback.

With respect to the proposal not being small scale, unobtrusive development, this is very subjective. It can well be interpreted that given the Zone anticipates 2 storey built form (and the residential code allows for substantial 2 storey built form), a 2 storey building such as that proposed could be regarded as small scale and unobtrusive, particularly when comparing to larger scale buildings (i.e. a scale that would bypass a building that would satisfy the residential code).

In considering the position and setbacks of the building (particularly relative to the Patawalonga boundary), it is important to recognise that the applicant could orientate the building to face Lewis Street, and therefore completely obliterate the north-easterly view enjoyed by the southern adjacent neighbour, which is the primary concern raised during the category 2 public notification process. The plan below illustrates the kind of building positioning that could be achieved, as of right, via the residential code:

*The plan shows a substantial building envelope could be achieved under the code, which would sit only 900mm from the Patawalonga street boundary and upper level as close as 1.9 metres from the western boundary. The blue dotted line depicts the envelope of the upper level. Note: the code building envelope is larger than that currently proposed.*



#### 4. RECOMMENDATION

That the ERD Court be advised that Council accepts the amended plans as a compromise in the Environment, Resources and Development Court matter between Dechellis Homes v City of Holdfast Bay ERD 20-11 and recommends the following conditions be included:

##### PLANNING CONDITIONS

The proposed development is NOT seriously at variance with the policies in the Development Plan. Following a detailed assessment of the proposal against the provisions of the Holdfast Bay (City) Development Plan, the Development Assessment Panel resolves to grant Development Plan Consent to Development Application 110/00668/19 for the construction of a two storey detached dwelling at 29 Patawalonga Frontage, Glenelg North, subject to the following conditions:

1. That the design and siting of all buildings and structures and site works shall be as shown on the plans prepared by Ginos Engineering Pty Ltd, Drawing No. 36041, SR2-1/A, Sep '19 and plans prepared by Dechellis Homes Pty Ltd, Job No. DH 1850, Sheets 1 to 5, dated 07 February 2020 submitted to and approved by Council unless varied by any subsequent conditions imposed herein.
2. That stormwater from the dwelling shall be collected and connected to a 1000 litre (minimum) rainwater tank with a sealed system over flow connection to the street water table. Final details of the location and size of the tank(s) shall be submitted to Council for approval prior to the issue of full Development Approval. Furthermore, all stormwater from the dwelling and the site shall be collected and disposed of in a manner that does not adversely affect any properties adjoining the site or the stability of any building on adjacent sites.

NOTE: Stormwater shall not be disposed of over a vehicle crossing place and any connection to the street water table, including remedial works to footpaths, verges or other Council infrastructure, is subject to any necessary approvals from Council and will be at the applicant's cost.

3. All upstairs windows on the side and rear elevations shall have minimum window sill heights of 1.7 metres above finished floor level, or any glass below 1.7 metres shall be manufactured obscure glass and fixed shut or as otherwise approved by Council. Further details of this requirement shall be provided at Building Rules Assessment stage.
4. The stormwater disposal system shall cater for a 5 year rainfall event with discharge to the street not to exceed 10 litres per second. Any excess above this flow is to be detained on site to the reasonable satisfaction of Council.

5. Landscaping shall be established in the front and rear yards and comprise trees, shrubs and grasses. All such landscaping shall be established within 3 months of substantial completion of the development and any such vegetation shall be replaced if and when it dies or becomes seriously diseased.
6. That construction shall take place between 7am and 7pm Monday to Saturday and not on Sundays or public holidays. All such work shall be undertaken in such a manner so as not to, in the reasonable opinion of Council, cause any nuisance or annoyance to any of the occupiers of buildings within the locality. Any work outside of these hours requires the written approval of Council.
7. That dust emissions from the site shall be controlled by a dust suppressant or by watering (subject to any relevant water restrictions) regularly to the reasonable satisfaction of Council.
8. That the builder shall at all times provide and maintain a waste receptacle to the reasonable satisfaction of Council on the site in which and at all times all builder's waste shall be contained for the duration of the construction period and the receptacle shall be emptied as required.
9. That all hard building materials, waste and litter on site be stored in a manner that secures it on site during the construction works.
10. That no solid or liquid trade wastes be discharged to the stormwater system.

CORROSION ZONE

N3 WINDSPEED

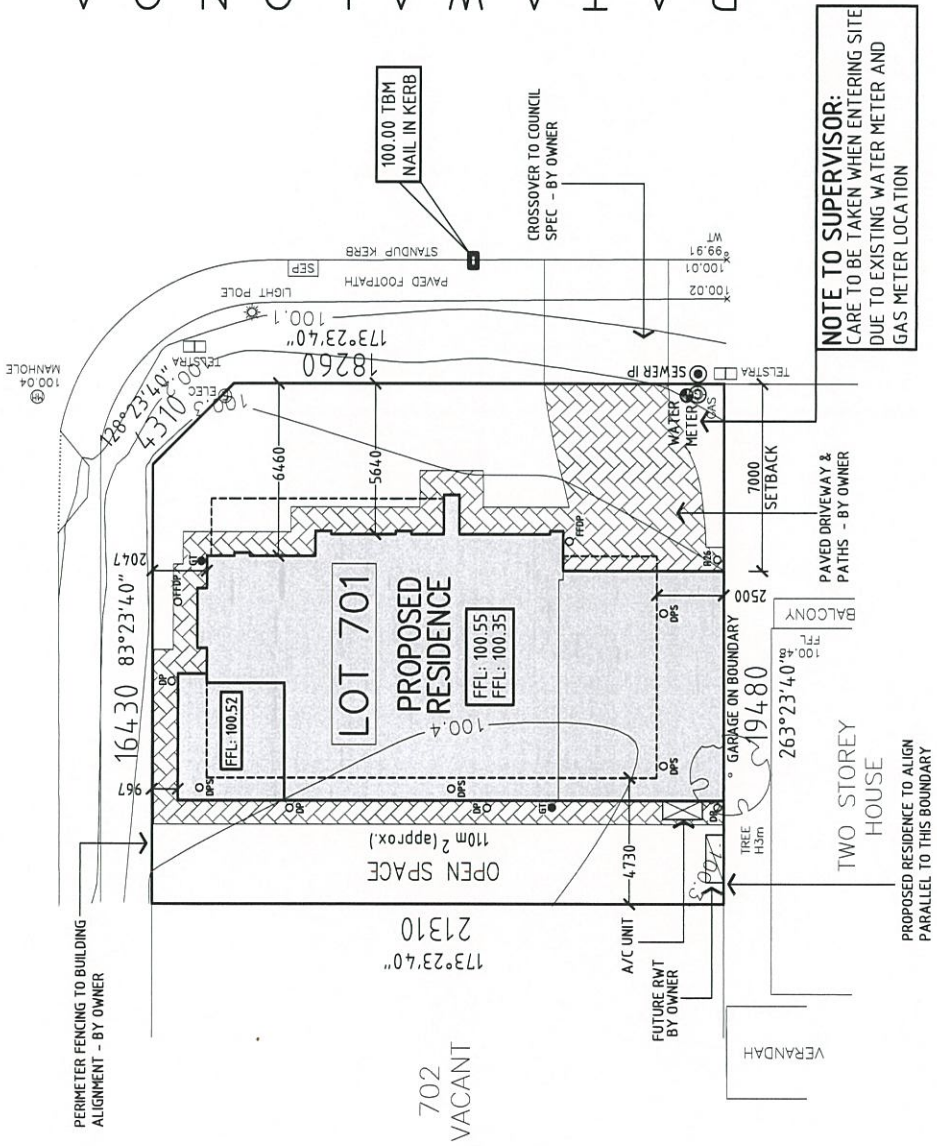
NOTE TO ENGINEER & FOOTING CONTRACTOR:  
32MPa TO ENTIRE SLAB AND EXPOSED FACE OF EXTERNAL FOOTINGS. DUE TO CORROSION ZONE REQUIREMENTS.

RESIDENTIAL CODE

# ATTACHMENT A.0

LEWIS STREET

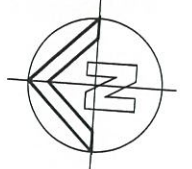
PATAWALONGA FRONTAGE



**NOTE TO SUPERVISOR:**  
CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

© COPYRIGHT LAWS APPLY  
WRITTEN DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS  
CONTRACTORS TO VERIFY ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF BUILDING WORKS

**NOTES:**  
WINDOWS: AS PER A.S. 1288 ( 2006 ) AND/OR A.S. 2047 (2014) - AS APPROPRIATE  
ROOF TILES / COLORBOND ROOF: AS PER RELEVANT AUSTRALIAN STANDARD TIMBER FRAMES / BRACING / TIE DOWNS: AS PER A.S. 1684 ( 2010 )  
HOT WATER SERVICE: AS PER A.S. 1529  
TERRITORY PROTECTION: AS PER A.S. 3660.11 (2014.)



**SITE PLAN**  
SCALE 1 : 200

**FINAL PLANS**  
I MAKE (THE OWNER) HAVE ACKNOWLEDGED THESE PLANS AS VARIED AND SUPERSEDE ANY PRIOR PLANS SIGNED  
CUSTOMER SIGNATURE 1  
CUSTOMER SIGNATURE 2  
DATE SIGNED  
**NOTES TO PLUMBER:**  
● PLUMBER TO SUPPLY & INSTALL RAINWATER LOOP TO DIVERT MAINS WATER AND ALLOW RAIN WATER TO FLOW TO MAIN WC TOILET CISTERN  
● NON RETURN VALVE TO BE INSTALLED AS PER SA WATER REQUIREMENTS BY OWNER.  
(1000 LITRE TANK BY OWNER)  
● UNDERGROUND FEED FROM RAINWATER TANK TO LOOP BY OWNER.  
● DRAIN LAYOUT IS SUBJECT TO CHANGE DEPENDING ON SITE CONDITIONS AND FALLS REQUIRED UNDER BCA PLUMBING CODE. FINAL DRAIN LAYOUT WILL BE IN THE HANDOVER PACK  
**NOTES TO OWNER:**  
● SWIMMING POOL - IF APPLICABLE, OWNER MUST SUPPLY TEMPORARY FENCING AND PLATFORM CLOSER IF POOL IS CLOSER THAN 1200 FROM THE PROPOSED DWELLING - SEWER CONNECTION POINT FOR BACKWASH TO BE SUPPLIED & INSTALLED BY OWNER

DR#	DESCRIPTION	DATE
MAZI	PRELIMINARY SKETCH	22/07/2019
MAZI	1 <sup>ST</sup> ISSUE CHECK	23/07/2019
MAZI	2 <sup>ND</sup> ISSUE CHECK	23/07/2019
MAZI	3 <sup>RD</sup> ISSUE CLIENT AMENDMENTS	02/08/2019
MAZI	3 <sup>RD</sup> ISSUE CLIENT AMENDMENTS	03/09/2019
MAZI	3 <sup>RD</sup> ISSUE CHECK	04/09/2019
MAZI	3 <sup>RD</sup> ISSUE CHECK	04/09/2019
MAZI	CONSTRUCTION DRAWINGS	24/09/2019
MAZI	COUNCIL AMENDMENTS	03/10/2019
MAZI	FINAL CLIENT AMENDMENTS	03/12/2019
MAZI	AMENDED STRUCTURAL TRANSFER	13/01/2020
MAZI	DAP AMENDMENTS	07/02/2020

PROPOSED : DWELLING  
FOR : WENDY ANN HAGE  
AT : LOT 701 NO.29  
PATAWALONGA FRONTAGE  
GLENELG NORTH  
AREAS:  
LAND SIZE 410 m<sup>2</sup>  
SITE COVERAGE 49.8%  
PRIVATE OPEN SPACE 110 (27%)  
DATE : 07 FEBRUARY 2020  
SHEET : 1 of 24  
SCALE 1:200  
COUNCIL : HOLIDFAST BAY

**Dechellis Homes**

170 PAYNEHAM ROAD, EVANDALE, SA 5089  
PH: (08) 832 1277 FAX: (08) 832 8383  
JOB NO.: DH 1850

**NOTE TO OWNER:**  
NAMES ON PLANS MUST MATCH THE CURRENT CERTIFICATE OF TITLE. SHOULD YOU BE IN THE PROCESS OF AMENDING THIS PLEASE FORWARD US A COPY OF THE NEW CT SO WE CAN UPDATE THE NAMES ON YOUR PLANS.

- LEGEND**
- DP : DENOTES DOWNPIPES
  - FFD : DENOTES FIRST FLOOR DOWNPIPES
  - R26 : DENOTES RAINWATER HEAD
  - GT : DENOTES GARDEN TAPS
  - GTR : DENOTES RECYCLED WATER GARDEN TAP
  - ⊕ WM : DENOTES WATER METER
  - ⊙ IP : DENOTES SEWER INSPECTION POINT
  - ⊕ NIP : DENOTES NEW SEWER INSPECTION POINT (OWNER TO SUPPLY LOCATION)

**RESIDENTIAL CODE**

**N3 WINDSPEED**

**URBIS GUTTERS THROUGHOUT**

**ATTACHMENT A.1**

**FINAL PLANS**  
I/AVE THE OWNER HAVE ACKNOWLEDGED  
AS A PROFESSIONAL ENGINEER AND SUPERSEDE  
ANY PRIOR PLANS SIGNED

CUSTOMER SIGNATURE 1  
CUSTOMER SIGNATURE 2

DATE SIGNED

**NOTE CARPENTER/ESTIMATOR:**  
1. TOP & BOTTOM PLATES ARE TO BE  
TRENCHED ONLY FOR CL LEVELS 2-4.00  
2. NICHES > THAN 90MM DEEP REQUIRES  
TRIM TO FRONT & REAR ONLY

DESIGN TYPE	SWANSON
SPECIFICATION	GRANDE
TITLE	TORRENS
WIND CATEGORY	YES
CORROSION ZONE	NA
BUSHFIRE LEVEL	NA
MULTITITEL BLANKET	NO
SARKING	NO
ROOF BLANKET	NO
SCRIBED RIDGES	NO
ELECTRICAL PHASE	SINGLE
3 PHASE ON SITE	TBA
OWNER SUPPLIED ITEMS	
SEPTIC TANK	NA
SYSTEM TYPE	NA
SERVICE	NA
GAS SERVICE ON SITE	YES
GAS BOTTLES	NO
EAVE SIZE & TYPE	550 BOXED
KIT, BOTTOM REVEAL	NO
HUMES SKIRTING TYPE	140 SINGLE BEV.
HUMES AVE TYPE	90 SINGLE BEV.
AVE BLOCKS	NO
JAMB TYPE	EZI TRIM
NOSSING	NO
WINDOW HEIGHT	2410 AFL
EXTERNAL INSULATION	R2.0
INTERNAL INSULATION	R2.5HD
LIVING/GARAGE INSUL.	R4.0 CEILING
POR/ALFRESCO	R4.0 CEILING
ALL GARAGE WALLS	R2.0
BETWEEN STOREYS	R1.5
CORNICHE TYPE	SOL SET
COPYRIGHT LAWS APPLY	

PROPOSED: DWELLING  
FOR: WENDY ANN HAGE  
AT: LOT 701 NO.29  
PATAWALONGA FRONTAGE  
GLENELG NORTH

AREAS: m<sup>2</sup>  
MAIN BUILDING - UPPER FLOOR 145.95  
MAIN BUILDING - GROUND FLOOR 117.06  
BALCONY 17.00  
PORTICO X  
ALFRESCO 17.76  
GARAGES & CARPORTS 52.66  
TOTAL 350.43

DATE: 07 FEBRUARY 2020  
SHEET: 2 of 24  
SCALE: 1:100  
COUNCIL: HOLDFAST BAY

**Dechellis Homes**

170 PATAWALONGA ROAD, EVANDALE SA 5069  
PH: (08) 8362 7427 FAX: (08) 8362 8693  
JOB No.: DH 1850

**CORROSION ZONE**

**550 EAVES**

**NOTE TO CERTIFIER:**  
ALL EXTERNAL DOOR FRAMES &  
INTERNAL GARAGE DOORS TO HAVE AIR  
INFILTRATION SEALS TO ALL 4 SIDES OF  
OPENINGS IN ACCORDANCE WITH AUSTRALIAN  
STANDARD 312.3.3.

**NOTE TO ENGINEER & FOOTING  
CONTRACTOR:**  
32MPa TO ENTIRE SLAB AND EXPOSED  
FACE OF EXTERNAL FOOTINGS. DUE TO  
CORROSION ZONE REQUIREMENTS.

**NOTES TO OWNER:**  
OWNER TO SUPPLY MAKE AND  
MODEL OF LIFT  
(SPECIFICATIONS) AS THIS WILL  
DETERMINE THE CONSTRUCTION  
METHOD AND SIZE OF VOID

**NOTE:**  
SMOKE DETECTOR  
SHOULD BE INSTALLED IN  
ACCORDANCE WITH PART 3.7.2 OF THE BCA  
VOL.2. COMPLY WITH AS3786. TO BE  
CONNECTED WITH MAINS POWER AND TO BE  
INTERCONNECTED WHERE THERE IS MORE THAN  
ONE DETECTOR INSTALLED.

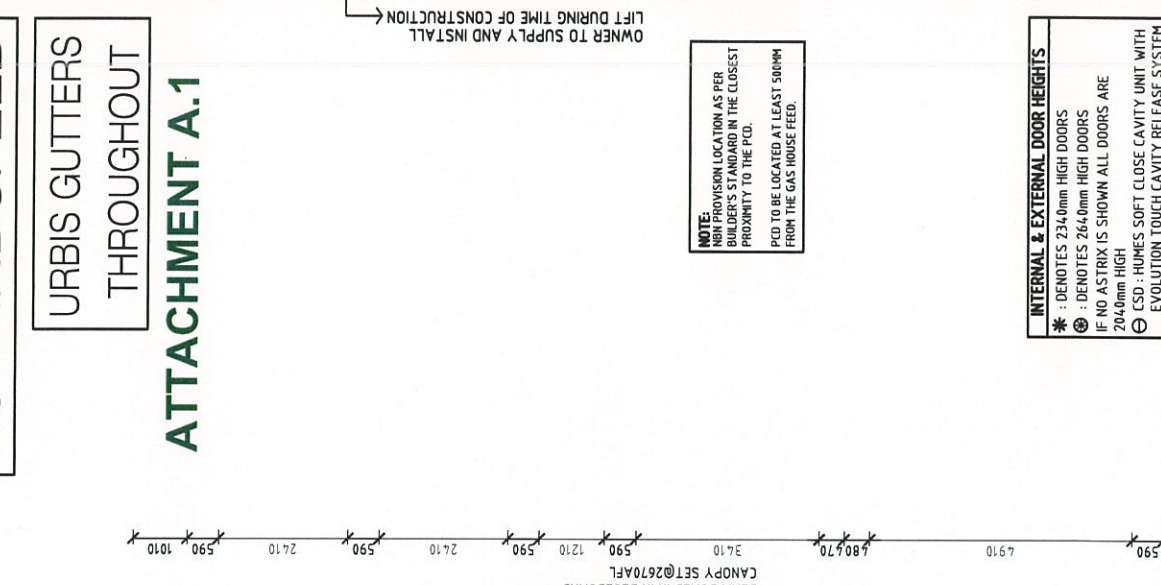
**NOTE:** WHEN MORE THAN ONE DETECTOR IS  
INSTALLED IN A DWELLING THEY MUST BE  
ELECTRICALLY INTERCONNECTED AND TRIPPED  
WHEN ANY ONE OF THE DETECTORS IS TRIPPED.

**NOTE OWNER:**  
EISA & APA (GAS) REQUIRES M/BOX'S TO  
BE A MAXIMUM OF 1200MM FROM FRONT  
CORNER OF HOUSE.  
WRITTEN DIMENSIONS ARE TAKEN FROM  
ACTUAL FRAME WORK. ACTUAL FINISHED  
SIZE DOES NOT ALLOW FOR FLOOR  
COVERINGS, LININGS OR SKIRTING  
THICKNESSES.  
FINAL LOCATION OF SKYLIGHTS (IF ANY) IS  
SUBJECT TO LOCATION OF ROOF MEMBERS.

**NOTE:** W.C. DOOR TO BE INSTALLED WITH  
HINGES WHICH ARE READILY REMOVABLE  
FROM THE OUTSIDE - OTHERWISE DOOR TO  
SWING OUTWARDS.

**WRITTEN DIMENSIONS ARE TAKEN FROM  
ACTUAL FRAME WORK. ACTUAL FINISHED  
SIZE DOES NOT ALLOW FOR FLOOR  
COVERINGS, LININGS OR SKIRTING  
THICKNESSES.**

**FINAL LOCATION OF SKYLIGHTS (IF ANY) IS  
SUBJECT TO LOCATION OF ROOF MEMBERS.**



**GROUND FLOOR PLAN**  
SCALE 1 : 100

**FINAL PLANS**  
 HAVE THE OWNER HAVE ACKNOWLEDGED THESE PLANS AS VARIED AND SUPERSEDE ANY PRIOR PLANS SIGNED  
 CUSTOMER SIGNATURE 1  
 CUSTOMER SIGNATURE 2  
 DATE SIGNED  
**NOTE CARPENTER/ESTIMATOR:**  
 1. TOP & BOTTOM PLATES ARE TO BE TRENCHED ONLY FOR C.L. LEVELS >2400  
 2. NICHES > THAN 90MM DEEP REQUIRE TRIM TO FRONT & REAR ONLY

**RESIDENTIAL CODE**

**N3 WINDSPEED**

**URBIS GUTTERS THROUGHOUT**

**NOTE TO OWNER:**  
 PLEASE NOTE THAT THE A/C VOID LOCATIONS TO THE UPPER LEVEL ARE DETERMINED WHEN PRELIMINARY TRUSS LAYOUTS HAVE BEEN DESIGNED AND APPROVED BY A/C MANUFACTURERS COMMENTS

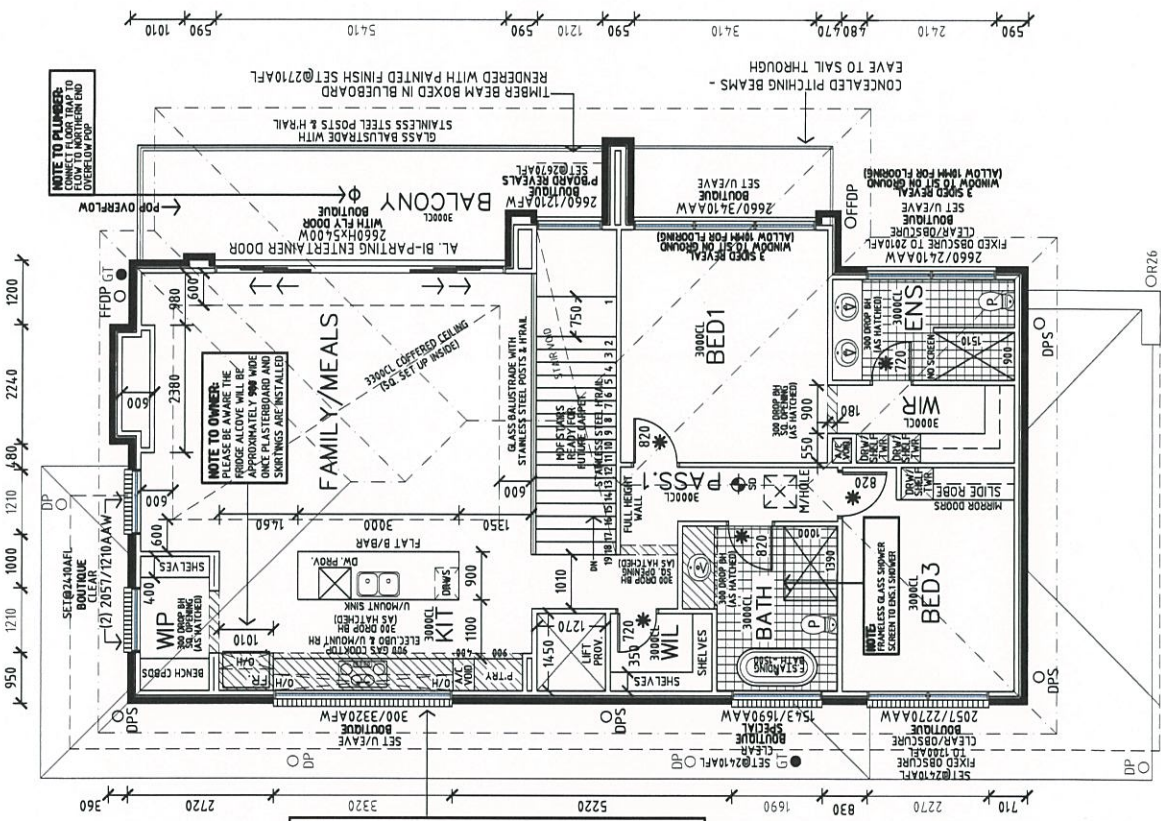
**ATTACHMENT A.2**

**CORROSION ZONE**

**550 EAVES**

**NOTE TO CERTIFIER:**  
 ALL EXTERNAL DOOR FRAMES & INTERNAL GARAGE DOORS TO HAVE AIR INFILTRATION SEALS TO ALL 4 SIDES OF OPENINGS IN ACCORDANCE WITH AUSTRALIAN STANDARD 312.3.3.

**NOTE TO ENGINEER & FOOTING CONTRACTOR:**  
 32MPa TO ENTIRE SLAB AND EXPOSED FACE OF EXTERNAL FOOTINGS. DUE TO CORROSION ZONE REQUIREMENTS.



**NOTE TO JOINER:**  
 JOINERY PANEL OF O/H & BENCH CPBDS TO RUN INTO ALUMINIUM FRAME OF FIXED WINDOW

**NOTE TO CARPENTER:**  
 DIMENSIONS BETWEEN WALL/JUNCTIONARY PANEL EITHER SIDE OF WINDOW ALREADY ALLOW FOR 10MM GAP FOR PLASTERBOARD REVEALS.

SMOKE DETECTOR  
 SMOKE DETECTORS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.2 OF THE BCA VOL.2. COMPLY WITH AS3786. TO BE CONNECTED WITH MAINS POWER AND TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE DETECTOR INSTALLED.  
 NOTE: WHEN MORE THAN ONE DETECTOR IS INSTALLED IN A ROOM, ALL MUST BE INTERCONNECTED TO SOUND SMALL BELLUSUALLY WHEN ANY ONE OF THE DETECTORS IS TRIPPED.

**NOTE OWNER:**  
 E.T.S.A. & A.P.A. (GAS) REQUIRES M/BOX'S TO BE A MAXIMUM OF 1200MM FROM FRONT CORNER OF HOUSE.  
 WRITTEN DIMENSIONS ARE TAKEN FROM ACTUAL FRAME WORK. ACTUAL FINISHED SIZE DOES NOT ALLOW FOR FLOOR COVERINGS, LININGS OR SKIRTING THICKNESSES.  
 FINAL LOCATION OF SKYLIGHTS (IF ANY) IS SUBJECT TO LOCATION OF ROOF MEMBERS.

NOTE: W.C. DOOR TO BE INSTALLED WITH FRAMES WHICH ARE EASILY REMOVABLE. SWING OUTWARDS - OTHERWISE DOOR TO SWING OUTWARDS.  
 WRITTEN DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. CONTRACTORS TO VERIFY ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF BUILDING WORKS

**INTERNAL & EXTERNAL DOOR HEIGHTS**  
 \* : DENOTES 2340mm HIGH DOORS  
 @ : DENOTES 2640mm HIGH DOORS  
 IF NO ASTRIX IS SHOWN ALL DOORS ARE 2040mm HIGH  
 ⊕ : HUMES SOFT CLOSE CAVITY UNIT WITH EVOLUTION TOUCH CAVITY RELEASE SYSTEM

**P** : DENOTES REINFORCED CONCRETE PIER  
**DP** ○ : DENOTES DOWNPIPES  
**FFDP** ○ : DENOTES FIRST FLOOR DOWNPIPES  
**⊕** : DENOTES FULL HEIGHT CONSTRUCTION JOINT IN BRICKWORK

**FIRST FLOOR PLAN**  
 SCALE 1 : 100

© COPYRIGHT LAWS APPLY  
 PROPOSED : DWELLING  
 FOR : WENDY ANN HAGE  
 AT : LOT 701 NO.29  
 PATAWALONGA FRONTAGE  
 GLENELG NORTH  
 DATE : 07 FEBRUARY 2020  
 SHEET : 3 of 24  
 SCALE : 1:100  
 COUNCIL : HOLIDFAST BAY

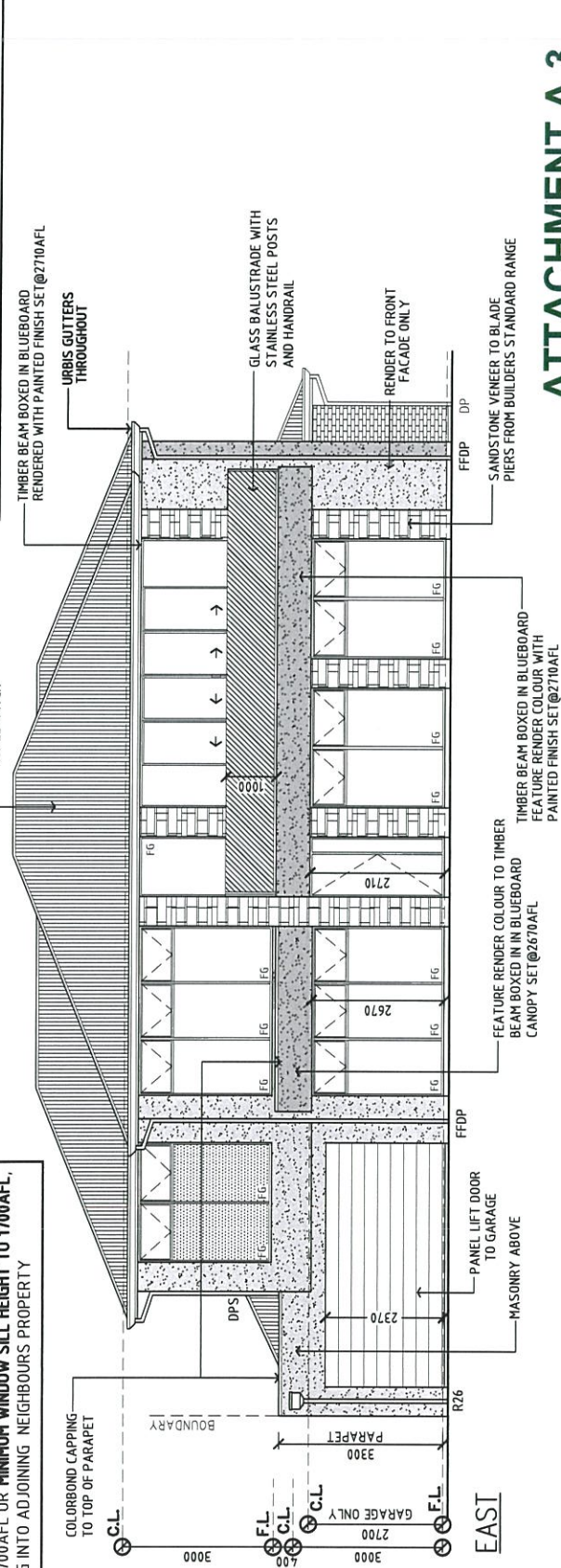
**Dechellis Homes**

179 PATAWALONGA ROAD, EVANDALE SA, 5069  
 PH: (08) 8362 7427 FAX: (08) 8363 0883  
 JOB No.: DH 1850

# N3 WINDSPEED CORROSION ZONE RESIDENTIAL CODE 550 EAVES

**NOTES TO OWNER:**  
 AS COUNCIL REQUIREMENT, UPPER FLOOR WINDOWS ARE REQUIRED TO BE FIXED OBSCURE UP TO 1700AFL OR MINIMUM WINDOW SILL HEIGHT TO 1700AFL, TO AVOID OVER LOOKING INTO ADJOINING NEIGHBOURS PROPERTY

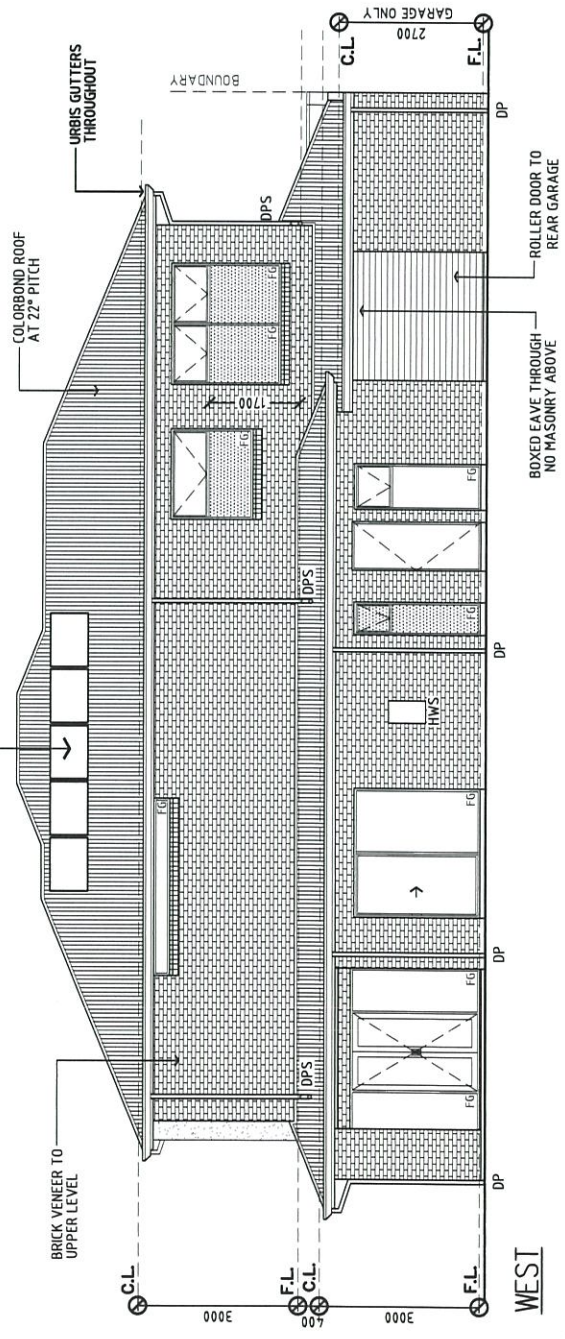
URBIS GUTTERS THROUGHOUT



EAST

## ATTACHMENT A.3

**NOTE CARPENTER/ESTIMATOR:**  
 TIBER TRUSSES/RAFTERS TO BE DESIGNED TO SUPPORT 5 SOLAR PANELS BY BUILDER TO WEST ELEVATION. PANELS WEIGH 20KG EACH. TOTAL WEIGHT OF 5 PANELS = 100KG



WEST

CU : DENOTES FULL HEIGHT CONSTRUCTION JOINT IN BRICKWORK

FINAL PLANS	
MAKE THE OWNED HAVE, FINISHED EDGED THESE PLANS AS VARIOUS AND SUPERSEDE ANY PRIOR PLANS SIGNED	
CUSTOMER SIGNATURE 1	
DATE SIGNED	
CUSTOMER SIGNATURE 2	
DATE SIGNED	
GARAGE LINTEL SPANS	
STANDARD GALINTEL - ANGLE 1-BAR	
SPAN	SHEET ROOF / TILED ROOF
300 WIDE PLATE FOR 350 BRICK PIER	200 WIDE PLATE FOR 230 BRICK PIER
240MM (50MM BEARING)	200/300X10MM
L1	L2
200/300X10MM	200/300X10MM
480MM (90MM BEARING)	250X10MM
L3	L4
200/300X10MM	200/300X10MM
510MM (90MM BEARING)	250X10MM
L5	L6
200/300X10MM	200/300X10MM
550MM (90MM BEARING)	250X10MM
L6	
200/300X10MM	

Copyright laws apply  
 PROPOSED: DWELLING  
 FOR: WENDY ANN HAGE  
 AT: LOT 701 NO.29  
 PATAWALONGA FRONTAGE  
 GLENELG NORTH  
 DATE: 07 FEBRUARY 2020  
 SHEET: 4 of 24  
 SCALE: 1:100  
 COUNCIL: HOLFEST BAY

**Dechellis Homes**  
 119 PATINDHAM ROAD, EVANDALE SA 5069  
 PH: 080 8342 7427 FAX: 080 834 8083  
 JOB NO.: DH 1850



N3 WINDSPEED

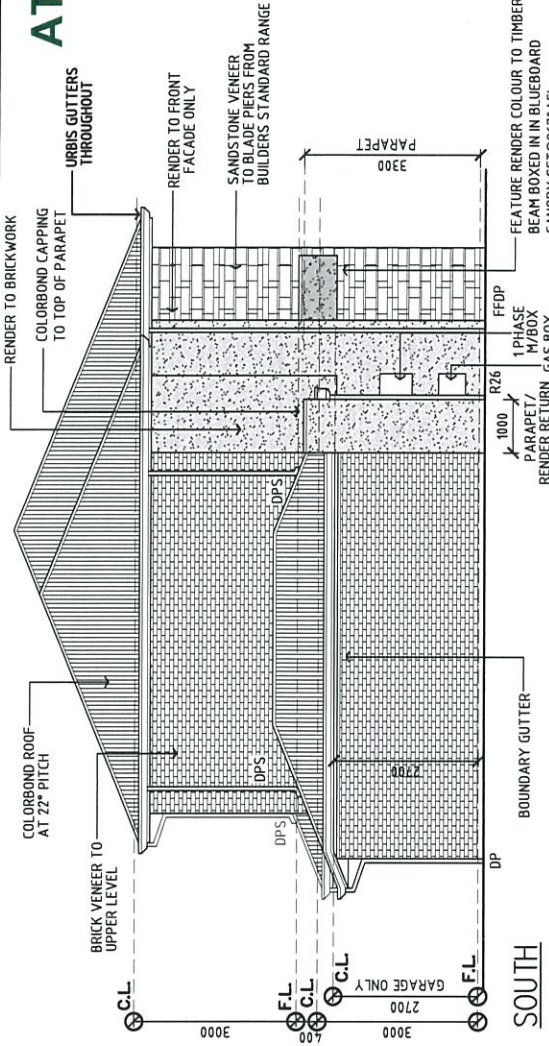
CORROSION ZONE

RESIDENTIAL CODE

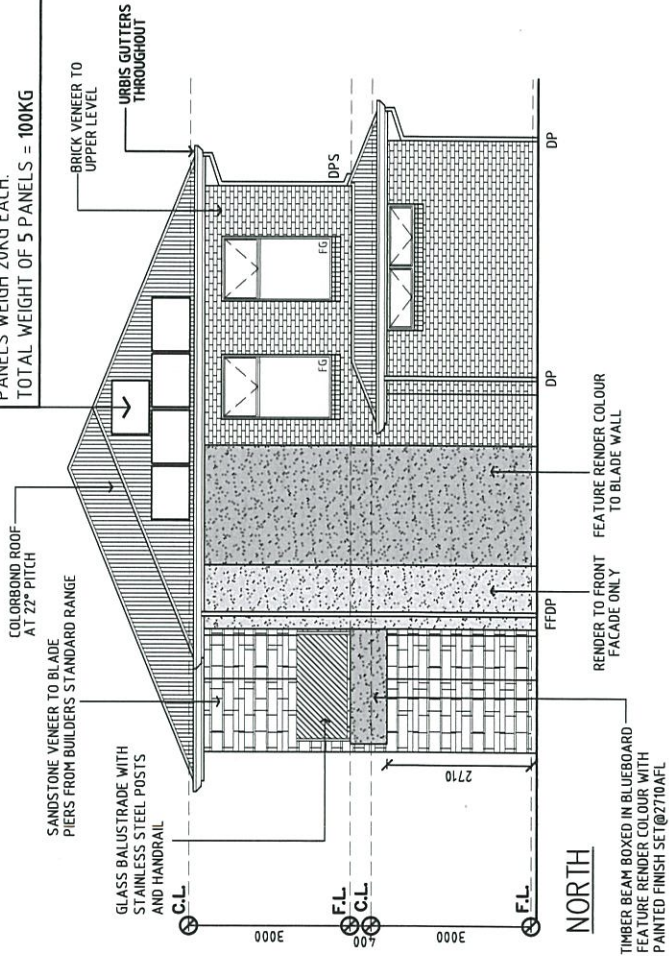
550 EAVES

URBIS GUTTERS THROUGHOUT

# ATTACHMENT A.4



**NOTE CARPENTER/ESTIMATOR:**  
 TIMBER TRUSSES/RAFTERS TO BE DESIGNED TO SUPPORT 5 SOLAR PANELS BY BUILDER TO NORTH ELEVATION. PANELS WEIGH 20KG EACH. TOTAL WEIGHT OF 5 PANELS = 100KG



CU : DENOTES FULL HEIGHT CONSTRUCTION JOINT IN BRICKWORK

FINAL PLANS  
 MAKE (THE OWNERS) HAVE A KNOWLEDGE OF THESE PLANS, VARIATIONS AND SUPERSEDE ANY PRIOR PLANS SIGNED  
 CUSTOMER SIGNATURE 1

CUSTOMER SIGNATURE 2  
 DATE SIGNED

**GARAGE LINTEL SPANS**  
 STANDARD GALINTEL - ANGLE T-BAR

SPAN	SHEET ROOF	TILED ROOF
300 WIDE PLATE FOR 350 BRICK PIER		
200 WIDE PLATE FOR 230 BRICK PIER		
24,10MM (50MM BEARING)	200/300X10MM	200/300X10MM
48,10MM (90MM BEARING)	200/300X10MM	200/300X10MM
51,10MM (90MM BEARING)	200/300X10MM	200/300X10MM
	200/300X10MM	200/300X10MM
	200/300X10MM	200/300X10MM
	200/300X10MM	200/300X10MM
	200/300X10MM	200/300X10MM
	200/300X10MM	200/300X10MM
	200/300X10MM	200/300X10MM

© Copyright laws apply  
 PROPOSED : DWELLING  
 FOR : WENDY ANN HAGE  
 AT : LOT 701 NO.29  
 PATAWALONGA FRONTAGE  
 GLENELG NORTH  
 DATE : 07 FEBRUARY 2020  
 SHEET : 5 of 24  
 SCALE : 1:100  
 COUNCIL : HOLIDFAST BAY

**Dechellis Homes**  
 179 PAYNEHAM ROAD, EVANDALE SA 5069  
 PH: 081 832 7427 FAX: 081 832 8083  
 JOB NO.: DH 1850

**ELEVATIONS**  
 SCALE 1 : 100

ITEM NO: **5.4**  
 REPORT NUMBER: 8/20

TO: **COUNCIL ASSESSMENT PANEL**  
 DATE: **22 JANUARY 2020**  
 SUBJECT: **COUNCIL ASSESSMENT REPORT**  
 AUTHOR: **DEAN SPASIC**  
**DEVELOPMENT OFFICER - PLANNING**

ATTACHMENTS: **LOCALITY PLAN**  
**PROPOSED PLANS**  
**STATEMENT OF REPRESENTATION**  
**APPLICANT'S REPLY TO REPRESENTATION**

REPRESENTATIONS TO BE HEARD: **DEBBIE AND RUSS WARD**  
 APPLICANT TO BE HEARD: **VINCE MAZZAFERRO – DECHELLIS HOMES**

---

DA NO.	:	<u>110/00668/19</u>
APPLICANT	:	<u>DECHELLIS HOMES PTY LTD</u>
LOCATION	:	<u>29 PATAWALONGA FRONTAGE, GLENELG NORTH</u>
DEVELOPMENT PLAN	:	<u>CONSOLIDATED 2 JUNE 2016</u>
ZONE AND POLICY AREA	:	<u>RESIDENTIAL ZONE</u>
NATURE OF DEVELOPMENT:		<u>MERIT</u>
PROPOSAL	:	<u>TWO STOREY DETACHED DWELLING WITH GARAGE WALL LOCATED ON SOUTHERN SIDE BOUNDARY</u>
EXISTING USE	:	<u>RESIDENTIAL</u>
REFERRALS	:	<u>NOT APPLICABLE</u>
CATEGORY	:	<u>TWO</u>
REPRESENTATIONS	:	<u>ONE</u>
RECOMMENDATION	:	<u>DEVELOPMENT PLAN CONSENT</u>

## 1. Site and Locality

The subject site is located on the western side of the Patawalonga and on a corner site, with the secondary street being Lewis Street. The surrounding locality comprises a mix of single and two storey buildings of varying architecture, with a high instance of infill redevelopment.

*Refer to Attachment 1*

## 2. Proposed Development

The proposed development comprises the construction of a two storey detached dwelling with integral garage located on the southern side boundary. The original site has been subdivided into two allotments, with the subject site having a primary frontage on the Patawalonga Frontage.

*Refer to Attachment 2*

## Development Assessment Data

Dwelling	Proposed	Development Plan	Development Plan Satisfied?
Site area	410 square metres	400 square metres	Existing allotment
Site coverage	50 percent of the site area	Maximum 50 percent	Yes (Res Code Yes, maximum 60%)
Private open space	110 square metres 26 percent of the site area	Minimum 20 percent	Yes (Res Code Yes, 80 square metres)
Eastern primary setback	4.3 to 6.1 metres	The building should be setback in-line with the setback of the adjacent building with a frontage to the same street. Adjacent buildings are setback 8 metres	No (Res Code No)
Northern secondary side setback	Ground 960mm	The ground level component should be setback a minimum distance of 2 metres from the secondary street boundary	No (Res Code Yes, 900mm min.)
	Upper 1.6 metres	The upper level component should be setback a minimum distance of 4 metres from the secondary street boundary	No (Res Code Yes, 900mm min.)
Southern side setback	Garage wall on boundary. Height above natural ground level 3.1 metres and length 8.6 metres	Where a wall is located on a boundary, the maximum height should not exceed 3 metres above the natural ground level with a wall length not exceeding 8 metres	No (Res Code No, max wall height 3 metres above footing and max length 8 metres)
	Upper level wall setback 2.5 metres	The upper level component should be setback a minimum distance of 2.5 metres	Yes (Res Code Yes, min 2.9 metres)
Western rear boundary setback	Ground level wall 3.9 metres	The ground level component should be setback a minimum distance of 4 metres	No (Res Code No, min 4 metres)
	Upper level wall 4.7 metres	The upper level component should be setback a minimum distance of 6 metres	No (Res Code No, min 6 metres)

## 3. Public Notification

The proposal was subject to a category 2 public notification process due to the proposal having a wall located on an allotment boundary with a height exceeding 2.75 metres above the natural ground level. One statement of representation was received from Russ and Debbie Ward of 28A Patawalonga Frontage, Glenelg North, and summarised as follows:

- Development too close to our property;
- Set too far forward and not in line with neighbouring buildings;
- Too close to the secondary street boundary;
- Impact on natural light;
- Impact on views; and
- Hinder our future installation of solar panels

The Applicant, Dechellis Homes, provided the following reply:

- The size and dimensions of the allotment unfortunately prevent some guidelines being achieved, including the primary setback;
- Although the new building will block a part of the neighbours view, the vast majority of the existing view will be unaffected; and
- The Development Plan allows for the construction of a boundary wall on a side boundary. The upper level wall is setback 1.9 metres, which is consistent with the Residential Code

#### 4. Development Plan Provisions

The following tables contain a detailed assessment of the proposal against the provisions in the Holdfast Bay (City) Development Plan consolidated 2 June 2016:

#### HOLDFAST BAY (CITY) DEVELOPMENT PLAN – ASSESSMENT

General Section – Design and Appearance	
Objectives	Assessment
1 Development of a high design standard and appearance that responds to and reinforces positive aspects of the local environment and built form.	Complies
2 Roads, open spaces, paths, buildings and land uses laid out and linked so that they are easy to understand and navigate.	Complies
Principles of Development Control	Assessment
1 Buildings should reflect the desired character of the locality while incorporating contemporary designs that have regard to the following: <ul style="list-style-type: none"> <li>(a) building height, mass and proportion</li> <li>(b) external materials, patterns, colours and decorative elements</li> <li>(c) roof form and pitch</li> <li>(d) façade articulation and detailing</li> <li>(e) verandas, eaves, parapets and window screens.</li> </ul>	Complies
2 Where a building is sited on or close to a side boundary, the side boundary wall should be sited and limited in length and height to minimise: <ul style="list-style-type: none"> <li>(a) the visual impact of the building as viewed from adjoining properties</li> <li>(b) overshadowing of adjoining properties and allow adequate sun light to neighbouring buildings.</li> </ul>	Complies
5 Building form should not unreasonably restrict existing views available from neighbouring properties and public spaces.	Complies
10 The design and location of buildings should enable direct winter sunlight into adjacent dwellings and private open space and minimise the overshadowing of: <ul style="list-style-type: none"> <li>(a) windows of habitable rooms</li> <li>(b) upper-level private balconies that provide the primary open space area for a dwelling</li> <li>(c) solar collectors (such as solar hot water systems and photovoltaic cells).</li> </ul>	Complies

General Section – Design and Appearance	
Principles of Development Control (Cont)	Assessment
11 Development should minimise direct overlooking of habitable rooms and private open spaces of dwellings through measures such as: (a) off-setting the location of balconies and windows of habitable rooms with those of other buildings so that views are oblique rather than direct (b) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms (c) screening devices (including fencing, obscure glazing, screens, external ventilation blinds, window hoods and shutters) that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.	Complies
13 Buildings (other than ancillary buildings or group dwellings) should be designed so that their main façade faces the primary street frontage of the land on which they are situated.	Complies
15 Buildings should be designed and sited to avoid creating extensive areas of uninterrupted walling facing areas exposed to public view.	Complies
16 Building design should emphasise pedestrian entry points to provide perceptible and direct access from public street frontages and vehicle parking areas.	Complies
Objectives	Assessment
1 Safe, convenient, pleasant and healthy-living environments that meet the full range of needs and preferences of the community.	Complies
2 A diverse range of dwelling types and sizes available to cater for changing demographics, particularly smaller household sizes and supported accommodation.	Complies
4 The revitalisation of residential areas to support the viability of community services and infrastructure.	Complies
1 Residential allotments and sites should maximise solar orientation and have the area and dimensions to accommodate: (a) the siting and construction of a dwelling and associated ancillary outbuildings (b) the provision of landscaping and private open space (c) convenient and safe vehicle, pedestrian and cycling access and parking (d) water sensitive design systems that enable the storage, treatment and reuse of stormwater.	Complies
5 Residential development should be designed to ensure living rooms have an external outlook.	Complies
6 Entries to dwellings should be clearly visible from the streets that they front to enable visitors to identify a specific dwelling easily.	Complies
10 The design and location of buildings should ensure that direct winter sunlight is available to adjacent dwellings, with particular consideration given to: (a) windows of habitable rooms (all rooms excluding bathrooms, laundries and hallways), particularly living areas (b) ground-level private open space (c) upper-level private balconies that provide the primary open space area for any dwelling (d) access to solar energy.	Complies
11 Development should ensure that north-facing windows to habitable rooms (all rooms excluding bathrooms, laundries and hallways) of existing dwelling(s) on the same allotment, and on adjacent allotments, receive at least 3 hours of direct sunlight over a portion of their surface between 9 am and 5 pm on the 21 June.	Complies

ITEM NO: 5.4  
REPORT NUMBER: 8/20

General Section – Design and Appearance													
Objectives (Cont)	Assessment												
<p>12 Development should ensure that ground-level open space of existing buildings receives direct sunlight for a minimum of two hours between 9 am and 3 pm on 21 June to at least the smaller of the following:</p> <ul style="list-style-type: none"> <li>(a) half of the existing ground-level open space</li> <li>(b) 35 square metres of the existing ground-level open space (with at least one of the area's dimensions measuring 2.5 metres).</li> </ul> <p>Development should not increase the overshadowed area by more than 20 per cent in cases where overshadowing already exceeds these requirements.</p>	Complies												
<p>13 Garages, carports and outbuildings should have a roof form and pitch, building materials and detailing that complement the associated dwelling.</p>	Complies												
<p>14 Garages and carports facing the street should not dominate the streetscape and should be designed in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) have a maximum total width of garage or carport openings of 6 metres or 50 per cent of the dwelling frontage width, whichever is the lesser</li> <li>(b) be located at least 0.5 metres behind the main face of the associated dwelling</li> <li>(c) where it is in the form of an enclosed double carport or garage, be setback at least 8 metres from the primary road frontage and incorporate one of the following: <ul style="list-style-type: none"> <li>(i) two individual doors with a distance of not less than 300 millimetres between them</li> <li>(ii) double tilt-up doors with moulded door panels having a maximum width of no more than 5 metres</li> </ul> </li> <li>(d) be constructed of materials that integrate with those of the associated dwelling, or pre-coloured treated metal.</li> </ul>	Complies												
<p>20 Dwelling setbacks from side and rear boundaries should be progressively increased as the height of the building increases to:</p> <ul style="list-style-type: none"> <li>(a) minimise the visual impact of buildings from adjoining properties</li> <li>(b) minimise the overshadowing of adjoining properties.</li> </ul>	Complies												
<p>21 Residential development (other than where located on a boundary) should be setback from side and rear boundaries in accordance with the following parameters:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Parameter</th> <th style="text-align: left;">Value</th> </tr> </thead> <tbody> <tr> <td>Side walls with a height up to (and including) 3 metres at any point above the natural ground level</td> <td>1 metre</td> </tr> <tr> <td>Side walls with a height exceeding 3 metres and up to (and including) 6 metres at any point above the natural ground</td> <td>1.5 metres plus an additional 500 millimetres for every metre in height above 4 metres</td> </tr> <tr> <td>Side walls greater than 6 metres at any point above the natural ground level</td> <td>2.5 metres plus the increase in wall height above 6 metres</td> </tr> <tr> <td>Rear boundary setback for single storey buildings with a wall height 3 metres or less above natural ground level</td> <td>4 metres</td> </tr> <tr> <td>Rear boundary setback for a building of two or more storeys with a wall height more than 3 metres above natural ground level</td> <td>6 metres</td> </tr> </tbody> </table>	Parameter	Value	Side walls with a height up to (and including) 3 metres at any point above the natural ground level	1 metre	Side walls with a height exceeding 3 metres and up to (and including) 6 metres at any point above the natural ground	1.5 metres plus an additional 500 millimetres for every metre in height above 4 metres	Side walls greater than 6 metres at any point above the natural ground level	2.5 metres plus the increase in wall height above 6 metres	Rear boundary setback for single storey buildings with a wall height 3 metres or less above natural ground level	4 metres	Rear boundary setback for a building of two or more storeys with a wall height more than 3 metres above natural ground level	6 metres	Does not comply with rear boundary but complies with upper side boundary.
Parameter	Value												
Side walls with a height up to (and including) 3 metres at any point above the natural ground level	1 metre												
Side walls with a height exceeding 3 metres and up to (and including) 6 metres at any point above the natural ground	1.5 metres plus an additional 500 millimetres for every metre in height above 4 metres												
Side walls greater than 6 metres at any point above the natural ground level	2.5 metres plus the increase in wall height above 6 metres												
Rear boundary setback for single storey buildings with a wall height 3 metres or less above natural ground level	4 metres												
Rear boundary setback for a building of two or more storeys with a wall height more than 3 metres above natural ground level	6 metres												

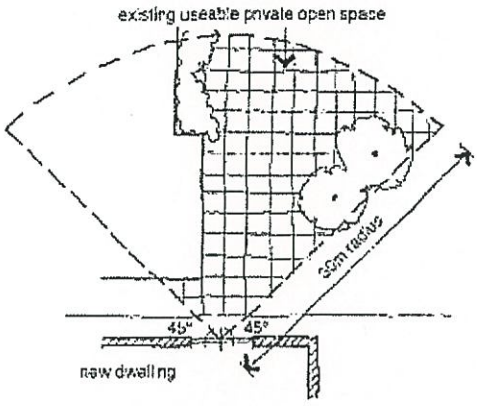
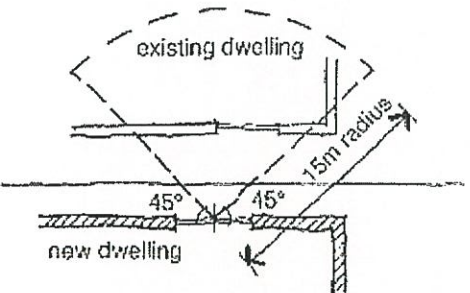
ITEM NO: 5.4  
REPORT NUMBER: 8/20

General Section – Design and Appearance							
Objectives (Cont)	Assessment						
23 Side boundary walls in residential areas should be limited in length and height to: <ul style="list-style-type: none"> <li>(a) minimise their visual impact on adjoining properties</li> <li>(b) minimise the overshadowing of adjoining properties.</li> </ul>	Complies						
24 Walls associated with a dwelling located on a side boundary should be designed in accordance with the following parameters: <ul style="list-style-type: none"> <li>(a) a height not exceeding 3 metres above natural ground level</li> <li>(b) a length not exceeding 8 metres</li> <li>(c) the wall, when its length is added to the length of any other relevant walls or structures located on that boundary:               <ul style="list-style-type: none"> <li>(i) will not result in all such relevant walls and structures exceeding a length equal to 45 per cent of the length of the boundary</li> <li>(ii) will not be within 3 metres of any other relevant wall or structure located along the boundary, except where the side wall is located immediately abutting the wall of an existing or simultaneously constructed building on the adjoining site and is constructed to the same or to a lesser length and height.</li> </ul> </li> </ul>	Minor non-compliance						
25 Walls with a height of up to (and including) 3 metres above natural ground level (excluding veranda, porch and balcony structures) should be setback 2 metres from the secondary street frontage.	Does not comply						
26 Walls with a height of more than 3 metres above natural ground level (excluding veranda, porch and balcony structures) should be setback 4 metres from the secondary street frontage.	Does not comply						
27 Carports and garages should be set back from road and building frontages so as to: <ul style="list-style-type: none"> <li>(a) contribute to the desired character of the area</li> <li>(b) not adversely impact on the safety of road users</li> <li>(c) provide safe entry and exit</li> <li>(d) not dominate the appearance of dwellings from the street.</li> </ul>	Complies						
28 Site coverage (the proportion of a site covered by ground floor level buildings and structures including dwelling, garage, carport, verandas and outbuildings but excluding unroofed pergolas and unroofed balconies) should not exceed the following values: <table border="1" style="width: 100%; margin-top: 10px;"> <thead> <tr> <th>Parameter</th> <th>Value</th> </tr> </thead> <tbody> <tr> <td>Site with an area less than or equal to 300 square metres</td> <td>60 per cent</td> </tr> <tr> <td>Site with an area greater than 300 square metres</td> <td>50 per cent</td> </tr> </tbody> </table>	Parameter	Value	Site with an area less than or equal to 300 square metres	60 per cent	Site with an area greater than 300 square metres	50 per cent	Complies
Parameter	Value						
Site with an area less than or equal to 300 square metres	60 per cent						
Site with an area greater than 300 square metres	50 per cent						
29 Site coverage should ensure sufficient space is provided for: <ul style="list-style-type: none"> <li>(a) pedestrian and vehicle access and vehicle parking</li> <li>(b) domestic storage</li> <li>(c) outdoor clothes drying</li> <li>(d) rainwater tanks</li> <li>(e) private open space and landscaping</li> <li>(f) convenient storage of household waste and recycling receptacles.</li> </ul>	Complies						

ITEM NO: 5.4  
REPORT NUMBER: 8/20

General Section – Design and Appearance											
Objectives (Cont)	Assessment										
<p>31 Private open space (land available for exclusive use by residents of each dwelling) should be provided for each dwelling (including a dwelling within a residential flat building) and should be sited and designed:</p> <ul style="list-style-type: none"> <li>(a) to be accessed directly from the habitable rooms of the dwelling</li> <li>(b) to be generally at ground level (other than for residential flat buildings) and to the side or rear of a dwelling and screened for privacy</li> <li>(c) to take advantage of, but not adversely affect, natural features of the site</li> <li>(d) to minimise overlooking from adjacent buildings</li> <li>(e) to achieve separation from bedroom windows on adjoining sites</li> <li>(f) to have a northerly aspect to provide for comfortable year-round use</li> <li>(g) to not be significantly shaded during winter by the associated dwelling or adjacent development</li> <li>(h) to be shaded in summer</li> <li>(i) to minimise noise and air quality impacts that may arise from traffic, industry or other business activities within the locality</li> <li>(j) to have sufficient area and shape to be functional, taking into consideration the location of the dwelling, and the dimension and gradient of the site.</li> </ul>	Complies										
<p>32 Dwellings and residential flat buildings at ground level should include private open space that conforms to the requirements identified in the following table:</p> <table border="1"> <thead> <tr> <th>Site area of dwelling</th> <th>Minimum area of private open space</th> <th>Provisions</th> </tr> </thead> <tbody> <tr> <td>250 square metres or greater</td> <td>20 per cent of site area</td> <td> <p>Balconies, roof patios, decks and the like, can comprise part of this area provided the area of each is 10 square metres or greater.</p> <p>One part of the space should be directly accessible from a kitchen, lounge room, dining room or living room (excluding a bedroom) and have an area equal to or greater than 10 per cent of the site area with a minimum dimension of 5 metres and a maximum gradient of 1-in-10.</p> </td> </tr> <tr> <td>Less than 250 square metres</td> <td>35 square metres</td> <td> <p>Balconies, roof patios and the like can comprise part of this area provided the area of each is 8 square metres or greater.</p> <p>One part of the space is directly accessible from a kitchen, lounge room, dining room or living room (excluding a bedroom) and has an area of 16 square metres with a minimum dimension of 4 metres and a maximum gradient of 1-in-10.</p> </td> </tr> </tbody> </table>	Site area of dwelling	Minimum area of private open space	Provisions	250 square metres or greater	20 per cent of site area	<p>Balconies, roof patios, decks and the like, can comprise part of this area provided the area of each is 10 square metres or greater.</p> <p>One part of the space should be directly accessible from a kitchen, lounge room, dining room or living room (excluding a bedroom) and have an area equal to or greater than 10 per cent of the site area with a minimum dimension of 5 metres and a maximum gradient of 1-in-10.</p>	Less than 250 square metres	35 square metres	<p>Balconies, roof patios and the like can comprise part of this area provided the area of each is 8 square metres or greater.</p> <p>One part of the space is directly accessible from a kitchen, lounge room, dining room or living room (excluding a bedroom) and has an area of 16 square metres with a minimum dimension of 4 metres and a maximum gradient of 1-in-10.</p>	Complies	
Site area of dwelling	Minimum area of private open space	Provisions									
250 square metres or greater	20 per cent of site area	<p>Balconies, roof patios, decks and the like, can comprise part of this area provided the area of each is 10 square metres or greater.</p> <p>One part of the space should be directly accessible from a kitchen, lounge room, dining room or living room (excluding a bedroom) and have an area equal to or greater than 10 per cent of the site area with a minimum dimension of 5 metres and a maximum gradient of 1-in-10.</p>									
Less than 250 square metres	35 square metres	<p>Balconies, roof patios and the like can comprise part of this area provided the area of each is 8 square metres or greater.</p> <p>One part of the space is directly accessible from a kitchen, lounge room, dining room or living room (excluding a bedroom) and has an area of 16 square metres with a minimum dimension of 4 metres and a maximum gradient of 1-in-10.</p>									
<p>33 Private open space should not include driveways, front yards (except where it is a group dwelling that has no frontage to a public road and the private open space is screened from adjacent dwellings), effluent drainage areas, rubbish bin storage, sites for rainwater tanks and other utility areas and common areas such as parking areas and communal open space.</p>	Complies										
<p>34 Private open space at ground level should be designed to provide a consolidated area of deep soil (an area of natural ground which excludes areas where there is a structure underneath, pools and non permeable paved areas) to:</p> <ul style="list-style-type: none"> <li>(a) assist with ease of drainage</li> <li>(b) allow for effective deep planting</li> <li>(c) reduce urban heat loading and improve micro-climatic conditions around sites and buildings.</li> </ul>	Complies										
<p>40 Except for buildings of 3 or more storeys in the Minda Incorporated Brighton Campus, upper level windows, balconies, terraces and decks that overlook habitable room windows or private open space of dwellings should maximise visual privacy through the use of measures such as sill heights of not less than 1.7 metres or permanent screens having a height of 1.7 metres above finished floor level.</p>	Complies										



General Section – Design and Appearance	
Objectives (Cont)	Assessment
<p>41 Where development is greater than single storey (excluding the Minda Incorporated Brighton Campus):</p> <p>(a) any upper storey window that directly overlooks the private open space of an adjoining residential property that is within 30 metres from the vertical centre line of the overlooking window and beyond a 45 degree angle from the plane of the wall containing the overlooking window (as illustrated by the figure below) should be glazed in fixed obscure glass or have window sills a minimum of 1.7 metres above the upper floor level:</p>  <p>(b) any upper storey window that directly overlooks habitable rooms (all rooms excluding bathrooms, laundries and hallways) of residential buildings that are within 15 metres from the vertical centre line of the overlooking window and beyond a 45 degree angle from the plane of the wall containing the overlooking window (as illustrated by the figure below) should be glazed in fixed obscure glass or have window sills a minimum of 1.7 metres above the upper floor level:</p>  <p>(c) any upper storey balcony should be located and/or designed to avoid directly overlooking the private open space of adjoining residential properties and into habitable rooms (all rooms excluding bathrooms, laundries and hallways) of other dwellings.</p>	<p>Complies</p>

Residential Zone	
Objectives	Assessment
3 Development that contributes to the desired character of the zone.	Complies
<p><b>DESIRED CHARACTER</b></p> <p>The zone contains the majority of the city's living areas, which are of predominantly low-density suburban form, but within policy areas include medium-to-high density forms of housing on the coast, along key transport corridors and within Glenelg, as well as coordinated development opportunities within large institutional sites. The zone includes five policy areas, three of which cater for coastal development, one for the City's residential institutions (including Minda and Masonic Homes) and one for medium density development along the key transit routes of Brighton Road, Anzac Highway, Tapleys Hill Road and along sections of the Seaford railway transit corridor.</p>	
<p>Development outside of the policy areas will be suburban in nature and evolve in response to progressive infill development of existing individual sites and through consolidation of sites to form larger comprehensive redevelopment opportunities. Infill development outside of the Policy Areas will not compromise the suburban character but will progressively increase dwelling densities through unobtrusive small-scale developments. In this regard, infill development will have a comparable height, mass, scale and setbacks to that of existing dwellings in the relevant locality.</p>	
<p>The zone's primarily suburban character outside of the policy areas is defined by detached dwellings on individual allotments. Infill development in these suburban areas will contribute to the city's housing diversity through development opportunities that (in order of preference):</p> <ul style="list-style-type: none"> <li>(a) increase dwelling numbers on allotments that have dual road frontages</li> <li>(b) provide low scale dwellings at the rear of large allotments with street frontages wide enough to accommodate appropriate sited and sized driveway access and landscaping semi-detached dwellings, where site considerations permit.</li> </ul>	
<p>Development outside of the policy areas will generally be single storey in height in the areas east of Brighton Road, and up to two storeys in height in the areas west of Brighton Road. Buildings will be both domestic and contemporary in design and character to support and reinforce the essentially suburban character through typical domestic design forms, low front fencing and landscaping. Landscaping will help define the public realm and private property boundaries, and substantial landscaped front yards will contribute to the locality, with the retention of mature trees. Development will have side and rear building setbacks that incorporate an access path on one side, with on-boundary built form limited in height, length and location to the equivalent of typical open carports or garaging. Vehicle garaging will be set back clearly behind the immediately adjacent part of the front building facade. Development will enhance and protect streetscape character by minimising driveway access points and width of crossovers and driveways. Undercroft car parking will also be avoided on flat sites and sites that slope down from the street level. Buildings will be stepped and articulated at the front elevation to achieve visual relief and architectural interest as viewed from the street.</p>	
Objectives	Assessment
<p>Residential development outside of the policy areas will utilise materials and finishes that respond to the character of the immediate locality and utilise brick, stone and rendered finishes to provide visual interest to facades. Development will also incorporate architectural design and detailing that responds to localised character by way of fenestration, doorways, windows, eaves and roof forms. Development will be setback and orientated to minimise impacts of the privacy of neighbouring residents.</p>	Complies

Residential Zone										
Principles of Development Control (Cont)	Assessment									
<p>Land Use</p> <p>1 The following forms of development are envisaged in the zone:</p> <ul style="list-style-type: none"> <li>▪ affordable housing</li> <li>▪ domestic outbuilding in association with a dwelling</li> <li>▪ domestic structure</li> <li>▪ dwelling</li> <li>▪ dwelling addition</li> <li>▪ small scale non-residential use that serves the local community, for example:                             <ul style="list-style-type: none"> <li>- child care facility</li> <li>- health and welfare service</li> <li>- open space</li> <li>- primary and secondary school</li> <li>- recreation area</li> </ul> </li> <li>▪ supported accommodation.</li> </ul>	Complies									
5 The use and placement of outbuildings should be ancillary to and in association with a dwelling or dwellings.	N/A									
6 Development should not be undertaken unless it is consistent with the desired character for the zone.	Complies									
Principles of Development Control	Assessment									
<p>8 Dwellings and residential flat buildings, except where specified in a particular policy area or precinct, should not exceed the maximum heights shown in the following table:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Location of the dwelling</th> <th style="text-align: left;">Maximum wall height above natural ground level</th> <th style="text-align: left;">Maximum height above natural ground level</th> </tr> </thead> <tbody> <tr> <td>West of Brighton Road or Tapleys Hill Road</td> <td>7 metres</td> <td>Two storeys</td> </tr> <tr> <td>East of Brighton Road or Tapleys Hill Road</td> <td>3.5 metres</td> <td>One storey, or two storeys if the second storey is incorporated within the roof space and the floor area of the second storey does not exceed 40 percent of the ground floor footprint of the dwelling, including attached garages.</td> </tr> </tbody> </table>	Location of the dwelling	Maximum wall height above natural ground level	Maximum height above natural ground level	West of Brighton Road or Tapleys Hill Road	7 metres	Two storeys	East of Brighton Road or Tapleys Hill Road	3.5 metres	One storey, or two storeys if the second storey is incorporated within the roof space and the floor area of the second storey does not exceed 40 percent of the ground floor footprint of the dwelling, including attached garages.	Complies
Location of the dwelling	Maximum wall height above natural ground level	Maximum height above natural ground level								
West of Brighton Road or Tapleys Hill Road	7 metres	Two storeys								
East of Brighton Road or Tapleys Hill Road	3.5 metres	One storey, or two storeys if the second storey is incorporated within the roof space and the floor area of the second storey does not exceed 40 percent of the ground floor footprint of the dwelling, including attached garages.								
9 Dwellings and/or residential flat buildings should be setback a minimum of 1 metre from one side boundary to incorporate pedestrian access.	Complies									

## 5. Summary of Assessment

### Zone and Land Use

The Residential Zone anticipates a predominately low-density suburban form, reflecting progressive infill development of existing individual sites and unobtrusive small-scale developments. Infill development should have a comparable height, mass, scale and setbacks to that of existing dwellings in the locality.

The primarily suburban character is defined by detached dwellings on individual allotments.

The proposed development addresses the desired character by incorporating low density development that will accommodate unobtrusive small-scale development of comparable height, mass, scale and setbacks to that of existing dwellings in the locality. Detached dwelling reinforces the primary suburban character (detached dwellings on individual allotments).

**Site Coverage**

The proposed development results in site coverage amounting to 50 percent of the site area, and therefore within the maximum anticipated by the Development Plan.

**Private Open Space**

The proposed development accommodates 110 square metres of private open space, which amounts to 26% of the site area. The Development Plan seeks a minimum private open space area amounting to 20% of the site area.

The proposed areas accommodating private open space achieve the fundamental objectives for private open space, which include areas that are exclusively used by occupants and providing outdoor space in the form of recreation, entertaining and landscaping.

**Western Primary Boundary Setback**

The subject site comprises an existing allotment which comprises an area of 410 square metres, however it has a depth of only 19.48 metres, resulting in heavy design constraints, particularly with respect to the primary setback.

As highlighted by the representation, the proposed primary setback is clearly forward of all other buildings, however it is also clear that the depth of the subject site is substantially less than that of neighbouring properties. The southern adjacent property has a depth of some 38 metres, which is approximately double that of the depth of the subject site. As a consequence, it is unrealistic to achieve a new dwelling on the subject allotment which would satisfy the Development Plan with respect to the primary setback. The representors plan showing the line of the building setback running through the middle of the proposed dwelling also highlights this.

In the context of the site dimensions and the fact the site is located on a street corner, the proposed setback is considered reasonable. It is important to have regard to the fact that if the applicant were to face the building toward Lewis Street, a setback of only 900mm could be achieved on the Patawalonga Frontage boundary, under the provisions of the Residential Code guidelines, hence a far greater adverse impact on the Patawalonga Frontage setback character.

**Northern Secondary Street Setback**

As per the data table, the proposal fails to satisfy the Development Plan with respect to the secondary street setback, however the variance is considered negligible in the context of the Development site, when considering *as of right development*. Under the Residential Code guidelines, the ground and upper level minimum setback is only 900mm.

**Southern Side Setback**

With respect to the boundary wall, the guidelines accommodate a 3 metre high wall (and 3 metres above the footing in the case of the Residential Code) over a maximum length of 8 metres. The boundary wall height satisfies the Residential Code guidelines however fails the maximum length by only 600mm, which overall is considered to be negligible.

ITEM NO: 5.4  
REPORT NUMBER: 8/20

The upper level wall is setback 2.5 from the southern side boundary, which satisfies the Development Plan.

#### **Western Rear Setback**

The ground level component is setback 3.9 metres from the eastern rear boundary, which is only 100mm at variance with the Development Plan, and hence negligible.

The upper level component is setback 4.7 metres from the eastern rear boundary, which reflects a variance of 1.3 metres. The rear boundary forms the side boundary of the eastern adjacent property, hence the 1.3 metre setback is reasonable. Again, if the proposed building faced Lewis Street, the eastern boundary setback minimum is only 1.9 metres at the upper level, hence a more substantial impact than what is proposed.

#### **Conclusion**

As demonstrated above, the proposal contains a number of variances with the Development Plan, although these variances are largely negligible, and typical of new residential development, as it is not uncommon for a wall height or setback to be slightly at variance with the quantitative figures. The critical consideration is whether or not the variance forms a notable additional impact on adjacent land, which in this instance is not the case.

The only variance which is considered to stand out is the primary street setback, however as explained above, the proposed setback is reasonable in the context of the development site, which has significant limitations as a result of the allotment depth being only 19.48 metres, half that of the southern adjacent property. In addition, if the dwelling were to face Lewis Street, the 4.3 metre Patawalonga Frontage setback could become a 900mm Patawalonga Frontage setback under the Residential Code guidelines, hence a far greater built form impact on the streetscape.

## **6. RECOMMENDATION**

- 1. The proposed development is NOT seriously at variance with the policies in the Development Plan. Following a detailed assessment of the proposal against the provisions of the Holdfast Bay (City) Development Plan, the Development Assessment Panel resolves to grant Development Plan Consent to Development Application 110/00668/19 for the construction of a two storey detached dwelling at 29 Patawalonga Frontage, Glenelg North, subject to the following conditions:**
- 2. That the design and siting of all buildings and structures and site works shall be as shown on the plans prepared by Ginos Engineering Pty Ltd, Drawing No. 36041, SR2-1/A, Sep '19 and plans prepared by Dechellis Homes Pty Ltd, Job No. DH 1850, Sheet 1 to 5, dated 13 December 2019 submitted to and approved by Council unless varied by any subsequent conditions imposed herein.**

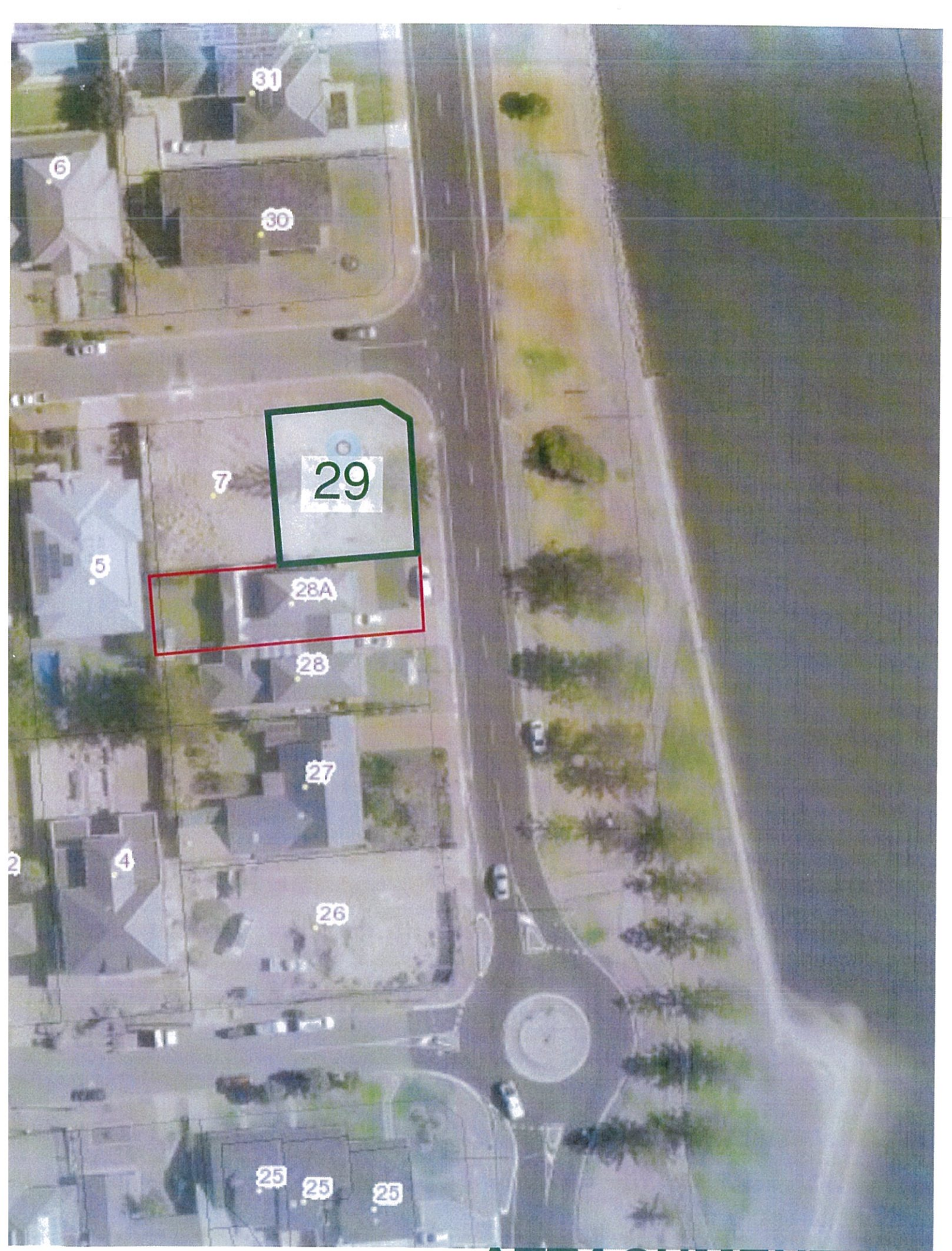
ITEM NO: 5.4  
REPORT NUMBER: 8/20

#### PLANNING CONDITIONS

1. That stormwater from the dwelling shall be collected and connected to a 1000 litre (minimum) rainwater tank with a sealed system over flow connection to the street water table. Final details of the location and size of the tank(s) shall be submitted to Council for approval prior to the issue of full Development Approval. Furthermore, all stormwater from the dwelling and the site shall be collected and disposed of in a manner that does not adversely affect any properties adjoining the site or the stability of any building on adjacent sites.

NOTE: Stormwater shall not be disposed of over a vehicle crossing place and any connection to the street water table, including remedial works to footpaths, verges or other Council infrastructure, is subject to any necessary approvals from Council and will be at the applicant's cost.

2. All upstairs windows on the side and rear elevations shall have minimum window sill heights of 1.7 metres above finished floor level, or any glass below 1.7 metres shall be manufactured obscure glass and fixed shut or as otherwise approved by Council. Further details of this requirement shall be provided at Building Rules Assessment stage.
3. The stormwater disposal system shall cater for a 5 year rainfall event with discharge to the street not to exceed 10 litres per second. Any excess above this flow is to be detained on site to the reasonable satisfaction of Council.
4. Landscaping shall be established in the front and rear yards and comprise trees, shrubs and grasses. All such landscaping shall be established within 3 months of substantial completion of the development and any such vegetation shall be replaced if and when it dies or becomes seriously diseased.
5. That construction shall take place between 7am and 7pm Monday to Saturday and not on Sundays or public holidays. All such work shall be undertaken in such a manner so as not to, in the reasonable opinion of Council, cause any nuisance or annoyance to any of the occupiers of buildings within the locality. Any work outside of these hours requires the written approval of Council.
6. That dust emissions from the site shall be controlled by a dust suppressant or by watering (subject to any relevant water restrictions) regularly to the reasonable satisfaction of Council.
7. That the builder shall at all times provide and maintain a waste receptacle to the reasonable satisfaction of Council on the site in which and at all times all builder's waste shall be contained for the duration of the construction period and the receptacle shall be emptied as required.
8. That all hard building materials, waste and litter on site be stored in a manner that secures it on site during the construction works.
9. That no solid or liquid trade wastes be discharged to the stormwater system.



**ATTACHMENT 1.0**  
**Locality Map**

**NOTES**

1. This is an engineering survey only and should not be used as a boundary identification survey.
2. Owner to peg site prior to construction.
3. All surplus soil to be removed by owner.
4. Stormwater, retaining walls & perimeter paving by owner. Stormwater and perimeter paving to be fully installed within 6 months of handover.
5. Cover to stormwater pipes in areas of vehicular traffic to be 300mm elsewhere 150mm.
6. This site is classified as Class 'S' Flexible connections are not necessary for all stormwater and sewer pipes.
7. For construction at or near boundary care must be taken to ensure stability of adjacent structures. Refer to Engineer if in doubt.
8. All stormwater disposal to satisfy Council's requirements.
9. The sewer run shown on this plan is indicative only. It is shown to determine whether sewer piers are required. Underfloor plumbing to be constructed as per Australian standards. Falls to be checked by builder prior to construction.

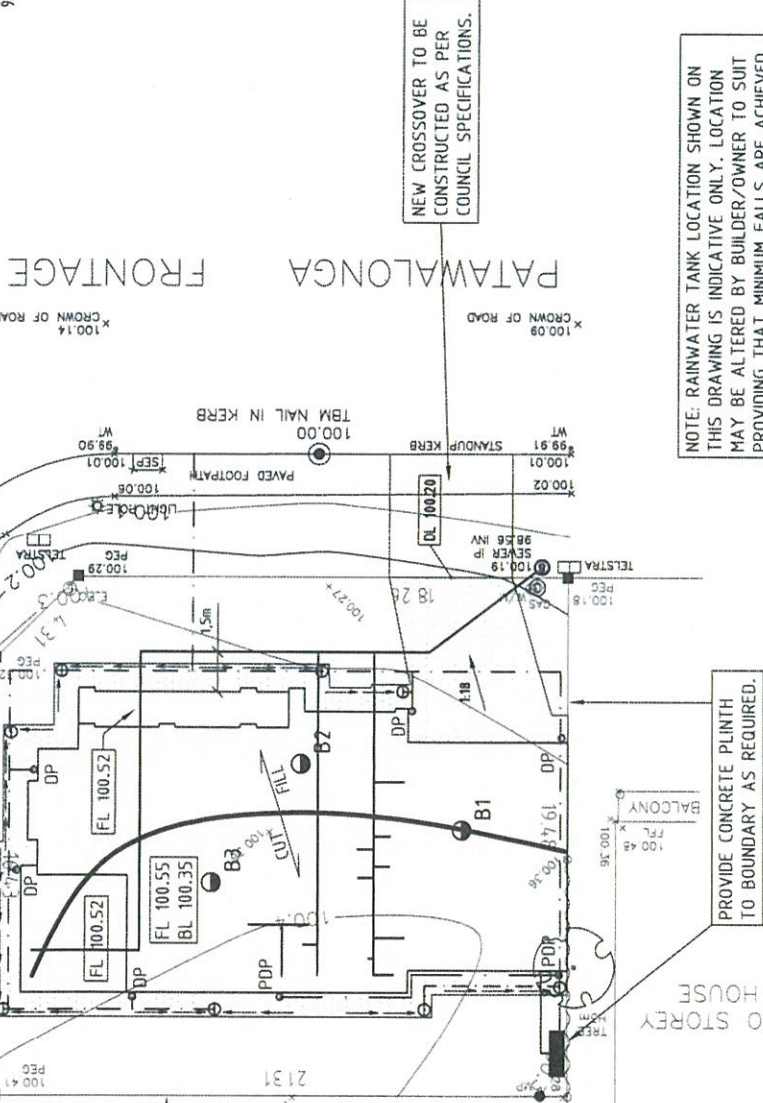
**LEGEND**

- paving - refer SRP
- existing spot levels
- existing contours
- design batter 1 : 2 (u.n.o.)
- retaining wall as specified
- 100mm wide graded trench
- spoon drain & direction of flow
- Ø90 upvc stormwater pipe, min fall 1200
- Ø90 upvc stormwater pipe (Sealed system)
- sewer pipe, min fall 160
- design finished floor level
- design bench level
- design waterable level
- design ground / paving level
- design top of retaining wall level
- design retaining wall height

- berchhole
- water meter
- selected downpipe
- 300 x 300 graded sump (u.n.o.)
- grated inlet 150 DIA
- black pegs
- ETSA
- PVC downpipe
- sewer IP

NOTE: ROOF DOWNPIPES MARKED 'PDP' TO BE DISCHARGED TO 1,000L RAINWATER TANK VIA A SEALED SYSTEM (REFER TO 'SDS'). ALLOW TANK OVERFLOW TO STREET. DISCHARGE OUTLET TO BE A MINIMUM 500mm ABOVE STREET WATERABLE. ALL REMAINING DOWNPIPES & SURFACE STORMWATER TO BE DISCHARGED DIRECTLY TO STREET WATERABLE VIA A GRAVITY SYSTEM.

DENOTES A 1,000L STORAGE RAINWATER TANK PLUMBED TO TOILET FLUSHING.



**ATTACHMENT 2.0**



NOTE: RAINWATER TANK LOCATION SHOWN ON THIS DRAWING IS INDICATIVE ONLY. LOCATION MAY BE ALTERED BY BUILDER/OWNER TO SUIT PROVIDING THAT MINIMUM FALLS ARE ACHIEVED.

'A': 18/12/19: PLAN AMENDED TO SUIT REVISED ARCH PLANS (JF)

**GINOS ENGINEERING PTY LTD**  
 Consulting Engineers  
 A.B.N. 22 621 716 121  
 2nd Floor  
 185 Victoria Square  
 Adelaide SA 5000  
 Telephone: (08) 8212 4900  
 Facsimile: (08) 8212 3829

**DECHELLIS HOMES PTY LTD**  
 DWELLING FOR: W HAGE  
 LOT 701 (NO 29) PATAWALONGA FRONTAGE - GLENELG NORTH  
 SITE AND DRAINAGE PLAN

Drawn JF  
 Design JF  
 Approved THL  
 Date SEP'19

Scales 1:200  
 Drawing Number 36041

SR2-1/A



**FINAL PLANS**  
 I/ME (THE OWNER) HAVE ACKNOWLEDGED THESE PLANS AS VARIED AND SUPERSEDE ANY PRIOR PLANS SIGNED

CUSTOMER SIGNATURE 1  
 CUSTOMER SIGNATURE 2  
 DATE SIGNED

**NOTES TO PLUMBER:**  
 ● PLUMBER TO SUPPLY & INSTALL RAINWATER LOOP TO DIVERT MAINS WATER AND ALLOW RAIN WATER TO FLOW TO MAIN WC TOILET CISTERN  
 ● NON RETURN VALVE TO BE INSTALLED AS PER SA WATER REQUIREMENTS BY OWNER.  
 ● (1000 LITRE TANK BY OWNER)  
 ● UNDERGROUND FEED FROM RAINWATER TANK TO LOOP BY OWNER  
 ● DRAIN LAYOUT IS SUBJECT TO CHANGE DEPENDING ON SITE CONDITIONS AND FALLS REQUIRED UNDER BCA PLUMBING CODE. FINAL DRAIN LAYOUT WILL BE IN THE HANDOVER PACK

**NOTES TO OWNER:**  
 ● SWIMMING POOL - IF APPLICABLE OWNER MUST SUPPLY TEMPORARY FENCING AND PLATFORM CLOSER IF POOL IS CLOSER THAN 1200 FROM THE PROPOSED DWELLING - SEWER CONNECTION POINT FOR BACKWASH TO BE SUPPLIED & INSTALLED BY OWNER

**AMENDMENTS**

DR	DESCRIPTION	DATE
MAZ	PRELIMINARY SKETCH	22/07/2019
MAZ	SP 1ST ISSUE CHECK	23/07/2019
MAZ	SP 2ND ISSUE CLIENT AMENDMENTS	19/08/2019
MAZ	SP 2ND ISSUE CHECK	20/08/2019
MAZ	SP 2ND ISSUE CLIENT AMENDMENTS AND REMAINING ELEVATIONS	01/09/2019
MAZ	SP 3RD ISSUE CHECK	04/09/2019
SP	PROCESS	14/08/2019
MAZ	CONSTRUCTION DRAWINGS	24/08/2019
MAZ	FINAL CLIENT AMENDMENTS	01/07/2019
MAZ	FINAL CLIENT AMENDMENTS	01/07/2019

PROPOSED DWELLING FOR: **WENDY ANN HAGE**  
 AT: **LOT 701 NO.29 PATAWALONGA FRONTAGE GLENELG NORTH**

AREAS  
 LAND SIZE 410 m<sup>2</sup>  
 SITE COVERAGES 49.8%  
 PRIVATE OPEN SPACE 110 (27%)

DATE 13 DECEMBER 2019  
 SHEET 1 of 24  
 SCALE 1:200  
 COUNCIL HOLIDAY BAY

**Dechellis Homes**

118 PATAWALONGA ROAD, RYLANDS VIC 3080  
 PH 081 8842 7427

JOB NO. **DH 1850**

**NOTE TO ENGINEER & FOOTING CONTRACTOR:**  
 32MPA TO ENTIRE SLAB AND EXPOSED FACE OF EXTERNAL FOOTINGS. DUE TO CORROSION ZONE REQUIREMENTS.

# ATTACHMENT 2.1

**NOTE TO SUPERVISOR:**  
 NAMES ON PLANS MUST MATCH THE CURRENT CERTIFICATE OF TITLE. SHOULD YOU BE IN THE PROCESS OF AMENDING THIS PLEASE FORWARD US A COPY OF THE NEW CT SO WE CAN UPDATE THE NAMES ON YOUR PLANS.

**LEGEND**

- DP - DENOTES DOWNPIPES
- FFDP - DENOTES FIRST FLOOR DOWNPIPES
- R26 - DENOTES RAINWATER HEAD
- GT - DENOTES GARDEN TAPS
- GTR - DENOTES RECYCLED WATER GARDEN TAP
- ⊕ WM - DENOTES WATER METER
- ⊙ IP - DENOTES SINKER INSPECTION POINT
- ⊙ NIP - DENOTES NEW SINKER INSPECTION POINT LOWER TO SUPPLY LOCATION

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

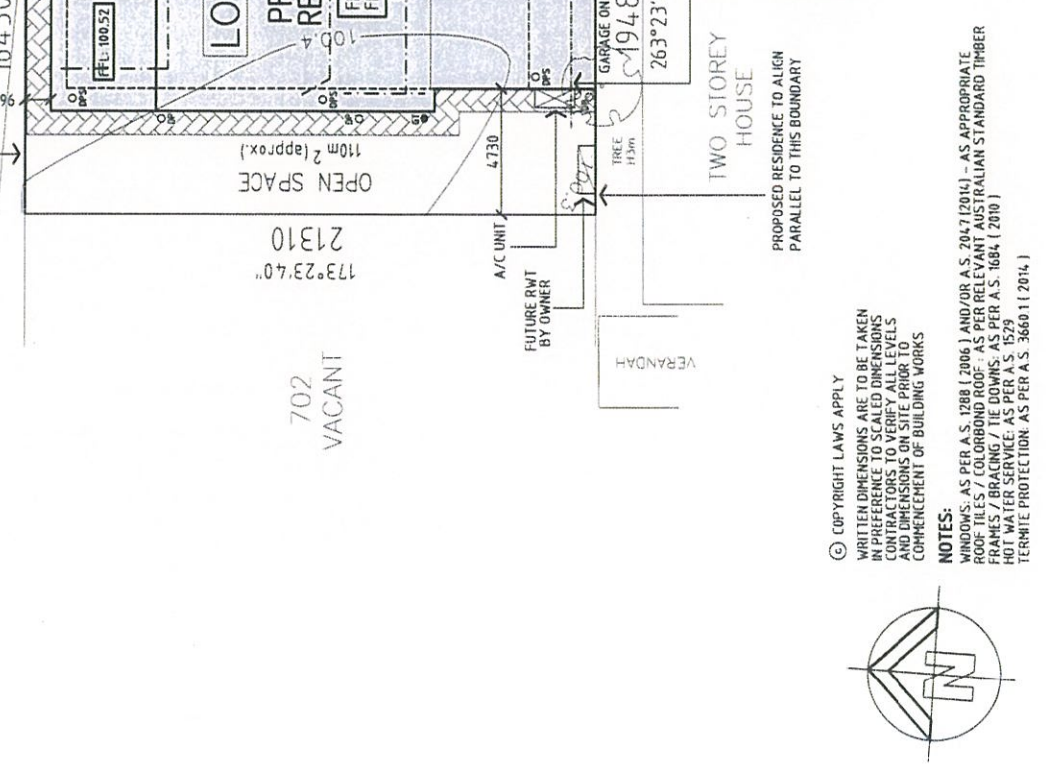
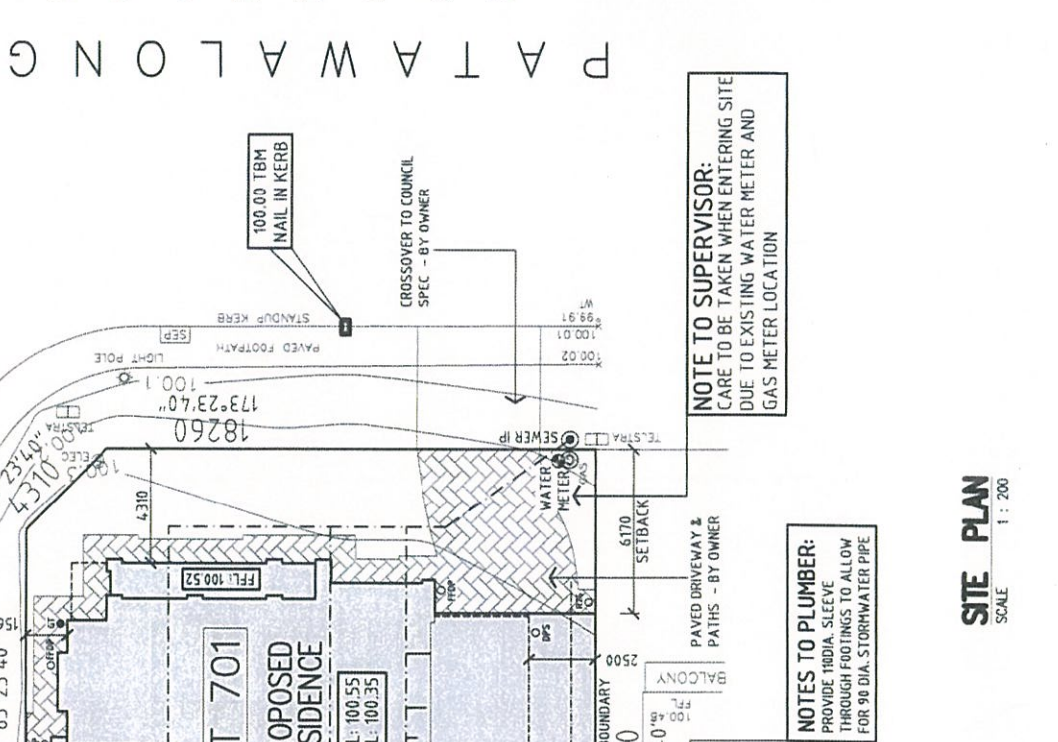
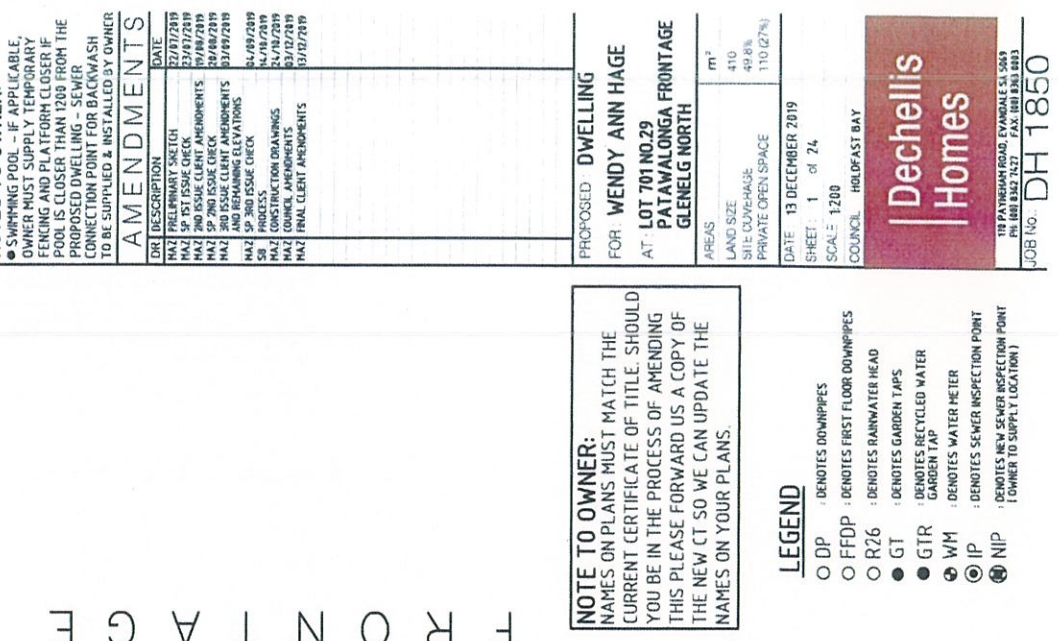
**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION



**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

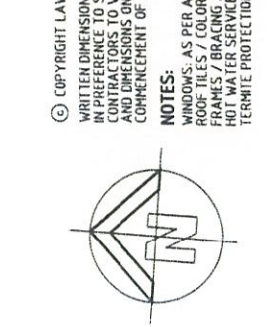
**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO PLUMBER:**  
 PROVIDE 100.00 TBM NAIL IN KERB

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION

**NOTE TO SUPERVISOR:**  
 CARE TO BE TAKEN WHEN ENTERING SITE DUE TO EXISTING WATER METER AND GAS METER LOCATION



© COPYRIGHT LAWS APPLY  
 WRITTEN DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS  
 DIMENSIONS TO BE TAKEN FROM THE EXTERIOR AND DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF BUILDING WORKS

**NOTES:**  
 WINDOWS: AS PER A.S. 1288 (2006) AND/OR A.S. 2047 (2016) - AS APPROPRIATE  
 ROOF: TILES / COLORBOND ROOF - AS PER RELEVANT AUSTRALIAN STANDARD TIMBER FRAMES / BRACING / TIE DOWNS: AS PER A.S. 1684 (2010)  
 HOT WATER SERVICE: AS PER A.S. 1529  
 TERMITE PROTECTION: AS PER A.S. 3660 (2014)

**SITE PLAN**  
 SCALE 1:200

**RESIDENTIAL CODE**

**N3 WINDSPEED**

**URBIS GUTTERS THROUGHOUT**

**CORROSION ZONE**

**550 EAVES**

**ATTACHMENT 2.2**

OWNER TO SUPPLY AND INSTALL LIFT DURING TIME OF CONSTRUCTION

**GROUND FLOOR PLAN**

SCALE 1:100

**NOTE TO CERTIFIER:**  
ALL EXTERNAL DOOR FRAMES & INTERNAL GARAGE DOORS TO HAVE AIR INFILTRATION SEALS TO ALL 4 SIDES OF OPENINGS IN ACCORDANCE WITH AUSTRALIAN STANDARD 312.3.3.

**NOTE TO ENGINEER & FOOTING CONTRACTOR:**  
3/2M PA 10 ENTIRE SLAB AND EXPOSED FACE OF EXTERNAL FOOTINGS. DUE TO CORROSION ZONE REQUIREMENTS.

**NOTES TO OWNER:**  
OWNER TO SUPPLY MAKE AND MODEL OF LIFT (SPECIFICATIONS) AS THIS WILL DETERMINE THE CONSTRUCTION METHOD AND SIZE OF VOID

**NOTE:**  
SMOKE DETECTOR  
SMOKE DETECTORS ARE TO BE INSTALLED IN EACH ROOM WITH A MAXIMUM OF 1200MM FROM THE CORNER OF HOUSE.  
SMOKE DETECTORS TO BE INSTALLED IN EACH ROOM WITH A MAXIMUM OF 1200MM FROM THE CORNER OF HOUSE.  
SMOKE DETECTORS TO BE INSTALLED IN EACH ROOM WITH A MAXIMUM OF 1200MM FROM THE CORNER OF HOUSE.  
SMOKE DETECTORS TO BE INSTALLED IN EACH ROOM WITH A MAXIMUM OF 1200MM FROM THE CORNER OF HOUSE.

**NOTE TO PLUMBER:**  
PLUMBING STACK TO SERVICE BATH TO BE INSTALLED WITHIN THE VOID. THE PLUMBING STACK SHALL BE INSTALLED WITHIN THE VOID. THE PLUMBING STACK SHALL BE INSTALLED WITHIN THE VOID.

**NOTE TO ELECTRICIAN:**  
ELECTRICAL INSTALLATION AS PER REQUIREMENTS TO BE INSTALLED WITHIN THE VOID. THE ELECTRICAL INSTALLATION SHALL BE INSTALLED WITHIN THE VOID.

**NOTE:**  
W.C. DOOR TO BE INSTALLED WITH HINGES WHICH ARE READILY REMOVABLE FROM THE OUTSIDE - OTHERWISE DOOR TO SWING OUTWARDS.  
WRITTEN DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. CONTRACTORS TO VERIFY ALL LEVELS THEREAFTERS.  
FINAL LOCATION OF SKYLIGHTS (IF ANY) IS SUBJECT TO LOCATION OF ROOF MEMBERS

**RESIDENTIAL CODE**

**N3 WINDSPEED**

**URBIS GUTTERS THROUGHOUT**

DESIGN TYPE	SWANSON
SPECIFICATION	GRANDE
TITLE	TORRENS
WIND CATEGORY	N3
CORROSION ZONE	YES
BUSHFIRE LEVEL	NA
MULTI LEVEL BLANKET	NO
SARKING	NO
ROOF BLANKET	NO
SCRIBED RIDGES	NO
ELECTRICAL PHASE	SINGLE
3 PHASE ON SITE	TBA
OWNER SUPPLIED ITEMS	SEPTIC TANK NA
SYSTEM TYPE	NA
SERVICE	YES
GAS SERVICE ON SITE	YES
GAS BOTTLES	NO
EAVE SIZE & TYPE	550 BOXED
KIT BOTTOM REVEAL	NO
HUMES SHIRTING TYPE	140 SINGLE BEV
HUMES AVE TYPE	90 SINGLE BEV
AVE BLOCKS	NO
JAMB TYPE	EZI TRIM
NOSSING	NO
WINDOW HEIGHT	2410 AFL
EXTERNAL INSULATION	R2.0
INTERNAL INSULATION	R2.5HD
LIVING/GARAGE INSUL	R4.0 CEILING
POR/ALEFRESCO	R4.0 CEILING
ALL GARAGE WALLS	R2.0
BETWEEN STOREYS	R2.0
CORNER TYPE	SO SET
© COPYRIGHT UNKS APPLY	

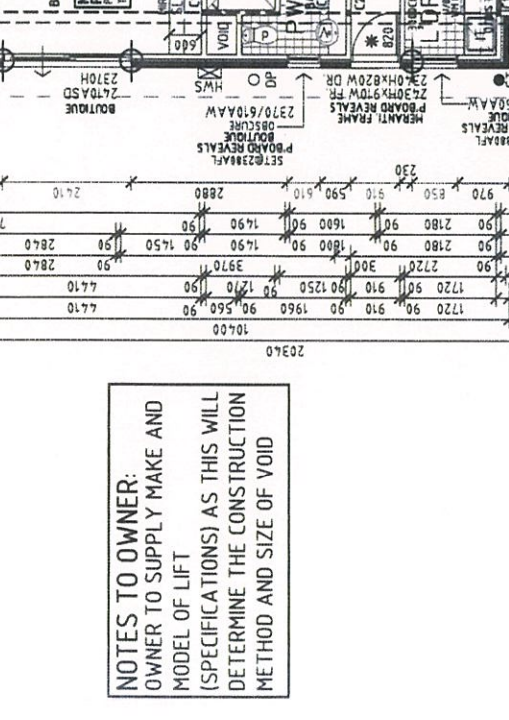
PROPOSED: DWELLING  
FOR: WENDY ANN HAGE  
AT: LOT 701 NO.29  
PATAWALONGA FRONTAGE  
GLENELG NORTH

AREAS: MAIN BUILDING - UPPER FLOOR 152.89  
MAIN BUILDING - GROUND FLOOR 124.12  
BALCONY 18.21  
PORTICO 10.20  
ALEFRESCO 17.60  
GARAGES & CARPORTS 52.54  
TOTAL 375.56

DATE: 13 DECEMBER 2019  
SHEET: 2 OF 24  
SCALE: 1:100  
COUNCIL: HOLDFAST BAY

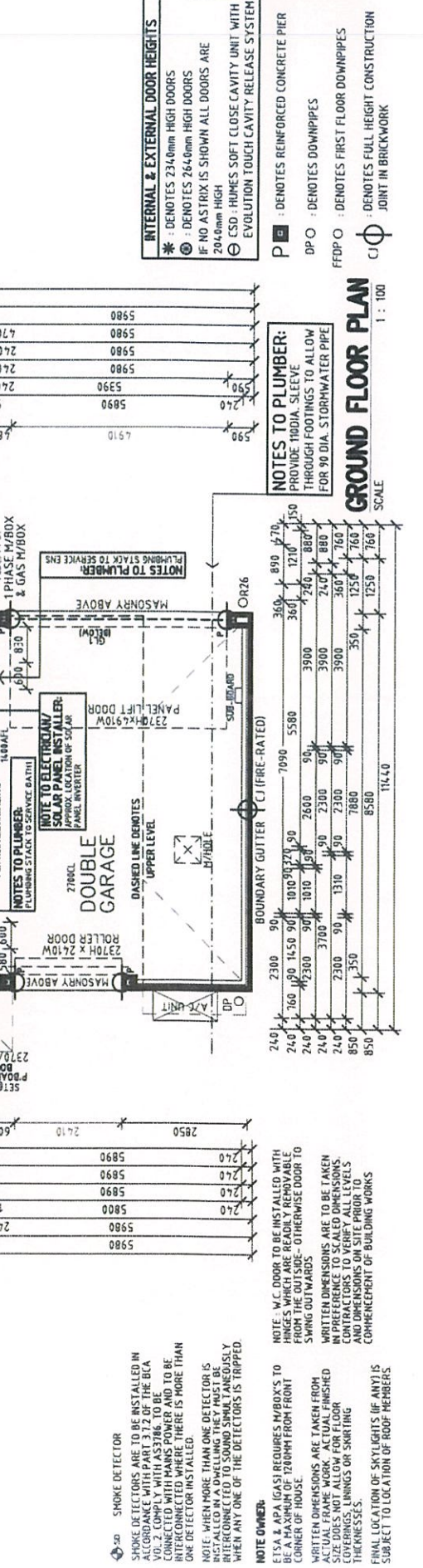
INTERNAL & EXTERNAL DOOR HEIGHTS	* DENOTES 2340mm HIGH DOORS
* DENOTES 2640mm HIGH DOORS	IF NO ASTRIX IS SHOWN ALL DOORS ARE 2040mm HIGH
CSO	: HUMES SOFT CLOSE CAVITY UNIT WITH EVOLUTION TOUCH CAVITY RELEASE SYSTEM

P	: DENOTES REINFORCED CONCRETE PIER
DP O	: DENOTES DOWNPIPES
FFDP O	: DENOTES FIRST FLOOR DOWNPIPES
C	: DENOTES FULL HEIGHT CONSTRUCTION JOINT IN BRICKWORK



**Dechellis Homes**

178 PATAWALONGA ROAD, EVANWALLEE 5568  
PH: 080 832 1427 FAX: 080 831 8083  
JOB NO: DH1850

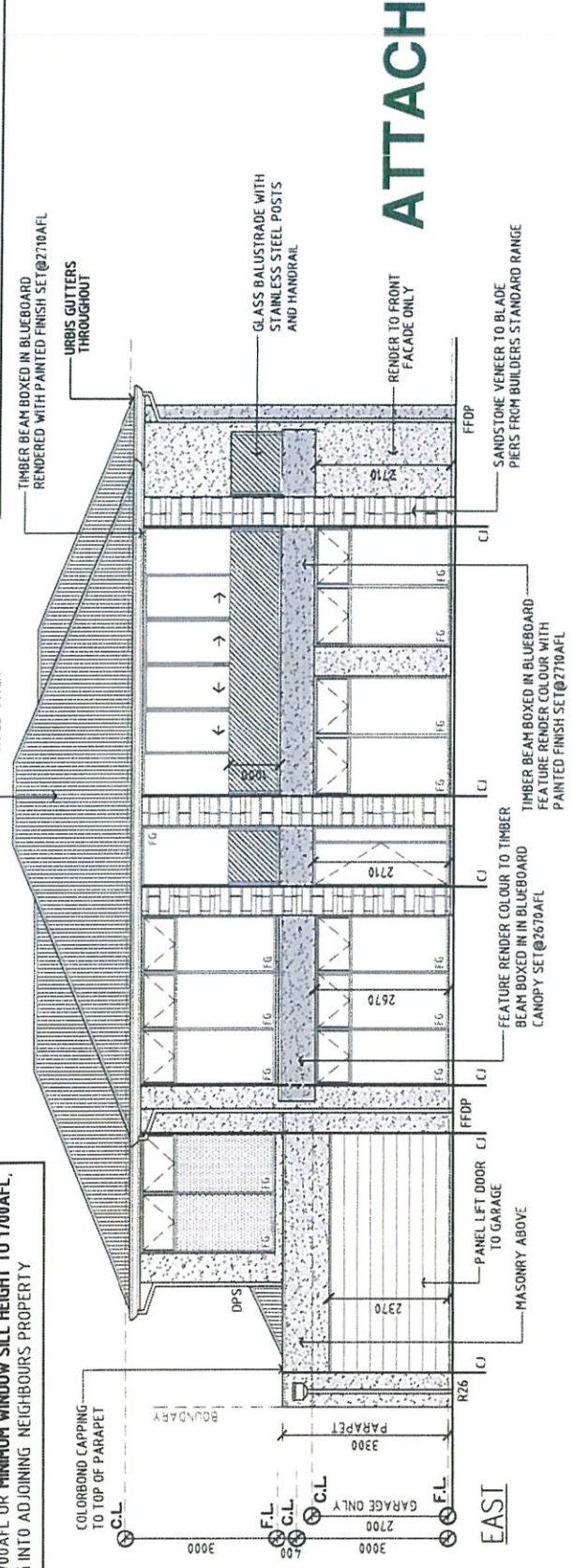




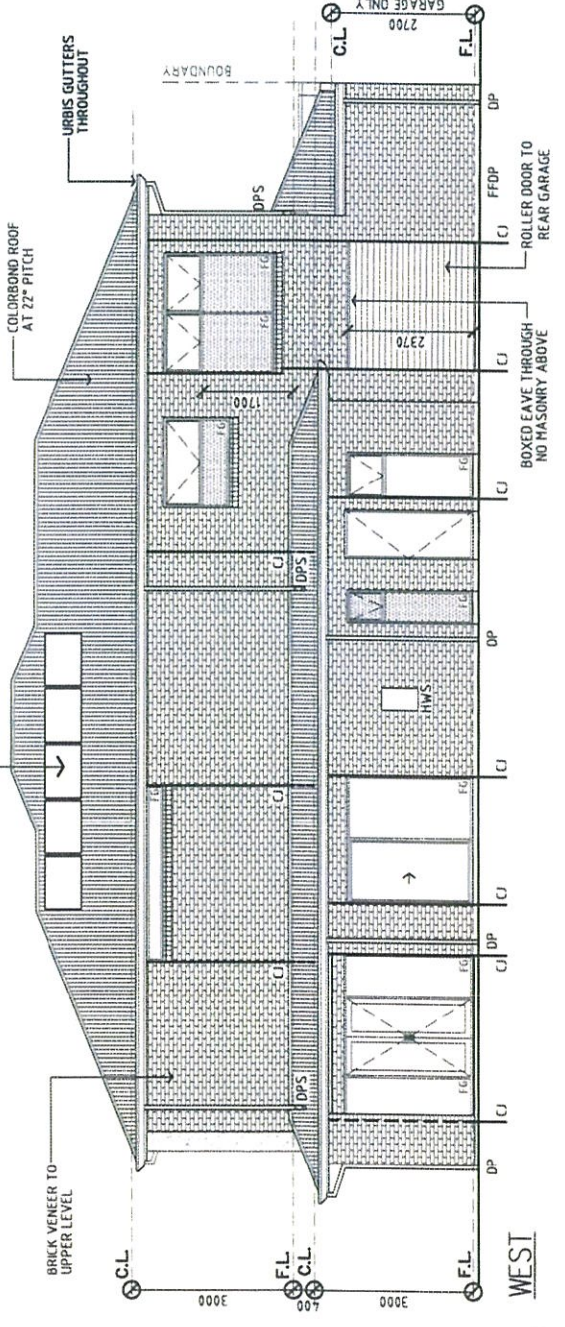
# N3 WINDSPEED CORROSION ZONE RESIDENTIAL CODE 550 EAVES

**NOTES TO OWNER:**  
 AS COUNCIL REQUIREMENT, UPPER FLOOR WINDOWS ARE REQUIRED TO BE FIXED OBSCURE UP TO 1700AFL OR MINIMUM WINDOW SILL HEIGHT TO 1700AFL, TO AVOID OVER LOOKING INTO ADJOINING NEIGHBOURS PROPERTY

**URBIS GUTTERS THROUGHOUT**



**NOTE CARPENTER/ESTIMATOR:**  
 TIMBER TRUSSES/RAFTERS TO BE DESIGNED TO SUPPORT 5 SOLAR PANELS BY BUILDER TO WEST ELEVATION. PANELS WEIGH 20KG EACH. TOTAL WEIGHT OF 5 PANELS = 100KG



(C) DENOTES FULL HEIGHT CONSTRUCTION JOINT IN BRICKWORK

GARANJE LINTEL SPANS	
STANDARD GALINTEL - ANGLE L-BAR	
SPAN	SHEET ROOF / TILED ROOF
240MM (150MM BEARING)	200/300X10MM
480MM (180MM BEARING)	250X10MM
510MM (180MM BEARING)	200/300X10MM
750MM (300MM BEARING)	200/300X10MM
900MM (300MM BEARING)	250X10MM
1050MM (300MM BEARING)	200/300X10MM
1200MM (300MM BEARING)	250X10MM
1350MM (300MM BEARING)	200/300X10MM
1500MM (300MM BEARING)	250X10MM
1650MM (300MM BEARING)	200/300X10MM
1800MM (300MM BEARING)	250X10MM
2100MM (300MM BEARING)	200/300X10MM
2400MM (300MM BEARING)	250X10MM
2700MM (300MM BEARING)	200/300X10MM
3000MM (300MM BEARING)	250X10MM

## ATTACHMENT 2.4

© Copyright laws apply  
 PROPOSED DWELLING  
 FOR WENDY ANN HAGE  
 AT LOT 701 NO.29  
 PATAWALONGA FRONTAGE  
 GLENELG NORTH  
 DATE 13 DECEMBER 2019  
 SHEET 4 of 24  
 SCALE 1:100  
 COUNCIL HOLDFAST BAY

**Dechellis Homes**  
 170 PATAWALONGA ROAD, PATAWALONGA SA 5047  
 PH: 0800 832 747 FAX: 0800 832 883  
 JOB No. DH 1850

**ELEVATIONS**  
 SCALE 1 : 100

N3 WINDSPEED CORROSION ZONE RESIDENTIAL CODE 550 EAVES

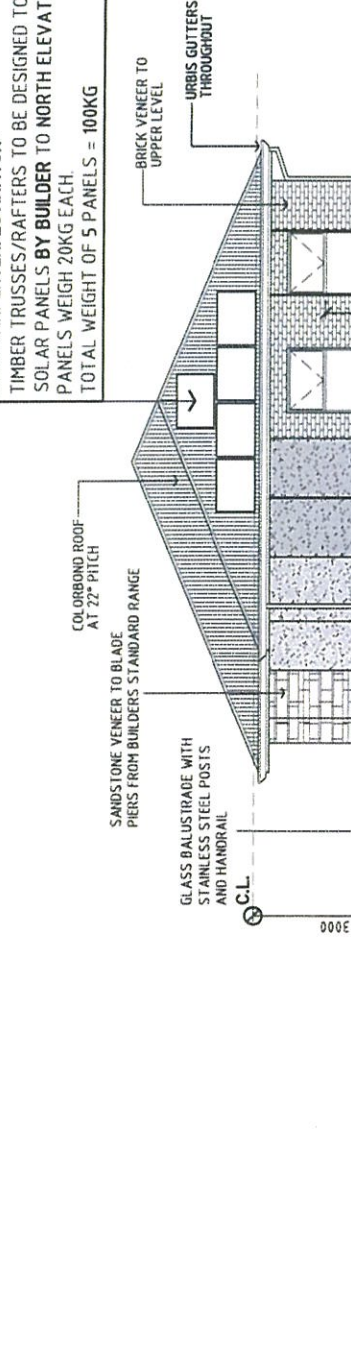
URBIS GUTTERS THROUGHOUT

NOTE CARPENTER/ESTIMATOR:  
 TIMBER TRUSSES/RAFTERS TO BE DESIGNED TO SUPPORT 5 SOLAR PANELS BY BUILDER TO NORTH ELEVATION. PANELS WEIGH 20KG EACH. TOTAL WEIGHT OF 5 PANELS = 100KG

BRICK VENEER TO UPPER LEVEL  
 URBIS GUTTERS THROUGHOUT

BRICK VENEER TO BLADE  
 SANDSTONE VENEER TO BLADE PIERS FROM BUILDERS STANDARD RANGE  
 COLORBOND ROOF AT 22° PITCH  
 SANDSTONE VENEER TO BLADE PIERS FROM BUILDERS STANDARD RANGE  
 GLASS BALUSTRADE WITH STAINLESS STEEL POSTS AND HANDRAIL  
 C.L. 3000  
 F.L. 400  
 C.L. 3000  
 F.L. 400  
 NORTH

GARAGE LINTEL SPANS	
STANDARD GALINTEL - ANGLE T-BAR	
SPAN	SHEET ROOF / TILED ROOF
300 WIDE PLATE FOR 350 BRICK PIER	
200 WIDE PLATE FOR 230 BRICK PIER	
2410MM (150MM BEARING)	L1 200/300X10MM
4810MM (300MM BEARING)	L3 200/300X10MM
5110MM (300MM BEARING)	L5 200/300X10MM
2410MM (150MM BEARING)	L2 200/300X10MM
4810MM (300MM BEARING)	L4 200/300X10MM
5110MM (300MM BEARING)	L6 200/300X10MM



# ATTACHMENT 2.5

© Copyright laws apply  
 PROPOSED DWELLING  
 FOR WENDY ANN HAGE  
 AT LOT 701 NO.29  
 PATAWALONGA FRONTAGE  
 GLENELG NORTH  
 DATE 13 DECEMBER 2019  
 SHEET 5 of 24  
 SCALE 1:100  
 COUNCIL HOLIDAY BAY

Dechellis Homes  
 170 PATAWALONGA FRONTAGE, 2985  
 PATAWALONGA RD,  
 GLENELG NORTH  
 JOB NO. DH1850

ELEVATIONS  
 SCALE 1 : 100

CJ DENOTES FULL HEIGHT CONSTRUCTION JOINT IN BRICKWORK

# ATTACHMENT 3.0

STATEMENT OF REPRESENTATION (DEVELOPMENT NUMBER: 110/00668/19)

**Name of person(s) making representation:** Mr R and Mrs D Ward

**Address:** 28a Patawalonga Frontage, Glenelg North SA 5045

**Contact No. :** 0481 085 772 (Mrs Ward) / 0490 242 894 (Mr Ward)

**Nature of interest affected by development:** Adjoining resident

**Reasons for representation:**

We wish to express our sincere concern regarding the proposed two-storey development at 29 Patawalonga Frontage, which we feel would have a considerable impact on ourselves and other neighbouring properties, as below:

- This proposed development is too close to our property, being two-storey in height and less than one metre away from our boundary we believe this does not comply with building regulations.
- The proposed development is set too far forward and is not in line with any other properties in this location. Whilst other houses are setback around 12 metres – this has only 4.3 metres setback and would therefore jut out approximately 8 metres further than other houses, making it inconsistent/not fitting with the rest of the street. Looking at the plans, it is disappointing to see that the proposed build (which will be approximately 9 metres to roof height) will extend out nearly as far as our post box and does not take into consideration any other neighbouring properties, least of all ourselves, being next door. Indeed, it compromises several neighbouring properties and is certainly NOT in keeping with the development and easement of the area.
- At the northern side of the proposed development, there is less than a one-metre gap between the proposed build and the edge of the plot. We thought there should be around 3 metres, to be in keeping with other properties down Lewis Street and 30 Patawalonga Frontage, which is set back from the front and the side, in line with other properties. This of course will also have a detrimental effect for the current empty plot owners next door when they build, as it will obscure their light and views, as well as other properties down Lewis Street. Traffic wise, for those motorists turning left into Lewis Street from Patawalonga Frontage, it could obscure their view.
- The proposed build is two-storey, directly next to our house (less than one metre from our boundary and even closer with the overhang from the roof) and is set forward 8 metres in front of our house, directly affecting our main lounge and master bedroom/balcony aspect, natural light and views.
- In addition to this, it will detrimentally block light and cause overshadowing to our house, not only to the front, but down the side of our house, blocking any natural daylight that enters our lounge room through the side windows, which will make our main living area very dark and gloomy. Also our main bathroom and toilet, which only have side windows and our utility room, with sliding glass door opening out into the side passageway, washing line and seating area, all will be affected.
- On the proposed layout, the air conditioning unit is positioned on the back of the proposed development on our side, right next to our house – we are therefore concerned it is likely to provide noise nuisance.
- It is our intention to install solar panels to our roof, we recently receiving a quote for panels to be installed on the three sides of our roof – south, east and west. We are now concerned that, especially in winter when the sun is lower in the sky, it is likely a build of this size, in such close proximity, will affect these detrimentally.
- By seriously impacting our property, most predominantly the outlook over the Patawalonga Lake (looking out from our property this 9-metre high proposed development would block any view to our left) and natural daylight, this would unequivocally devalue our property and others in this location.

# ATTACHMENT 3.1

Whilst we support a development that fits in and adds to Parawalonga Frontage, we do not support a build that would have such a detrimental effect to those already living here. We are incredibly upset that this development has been proposed with what we feel is little consideration to anyone else, as it will not only impact our house, but all others in this location, due to its lack of setback and it being oversized/not fitting for the plot on this street.

We would also like to mention that, when the land was sold, the seller of the land already had plans drawn up for a four-bedroom detached house, which was smaller than this proposed build and was set further back from the road (we believe 10 metres setback), keeping within close alignment to other properties on the street – it also had a single storey garage to the southern side boundary, rather than being double-storey. We would not have opposed previous plans, as they did not overly compromise our/other properties, unlike this new proposed build.

We are passionate about the area we live in and its surroundings. We felt disappointed when the new landowners recently cut down a beautiful old Norfolk Pine on the land (to make way for this development), as this had provided a natural habitat for many birds and wildlife. We are concerned that, whilst other properties adhere to previous council setback regulations, this development is not in line with these, which would detrimentally impact several neighbouring homes, as well as the look of this part of the street.

**Please see below for images demonstrating how this proposed build will have a detrimental impact on neighbouring properties.**

**My representation would be overcome by:**

- The house being set further back from the road, in line with other properties in the location – given that most of the street properties are set back to around 12 metres (including our own), around 10 metres would still block some of our aspect and light, but would be more fitting and in alignment with other houses in the area.
- The proposed build being smaller so, in addition to the increased setback (in alignment with other properties), it could be built a suitable distance away from boundaries, as currently it appears to be oversized for the plot size.
- The garage to be single storey not double storey, so it does not impact our main view aspect and natural light.
- The proposed build to take into consideration the natural character and high visual/scenic value of the area and the neighbouring properties.

## IMAGES

**The proposed development will compromise ours and other properties on the street and is not in keeping with the development of the area – it will extend out approximately 8 metres in front of any other house in this location**



# ATTACHMENT 3.2

The proposed two-storey development, which will be approx. 9 metres in height, would come out nearly as far as our mailbox, causing excessive blocking of natural light and views to ourselves and neighbouring properties



The proposed development will extend out nearly 8 metres further than our home and other homes in the same area






## Street and Boundary Setbacks

# ATTACHMENT 3.3

- 19 Except where specified in a particular zone, policy area or precinct or **Residential High Density Zone**, the main face of a building should be set back from the primary road frontage in accordance with the following table:

Setback difference between buildings on adjacent allotments with frontage to the same primary street	Setback of new building
Up to 2 metres	The same setback as one of the adjacent buildings, as illustrated below:  <p data-bbox="826 663 1198 685"><i>When <math>b &gt; a</math>: 2 setback of new dwelling = <math>a</math> or <math>b</math></i></p>
Greater than 2 metres	At least the average setback of the adjacent buildings.

- 20 Dwelling setbacks from side and rear boundaries should be progressively increased as the height of the building increases to:
- minimise the visual impact of buildings from adjoining properties
  - minimise the overshadowing of adjoining properties.

**From:** Vince Mazzaferro [<mailto:vince@dechellishomes.com.au>]

**Sent:** Tuesday, 29 October 2019 10:11 AM

**To:** Dean Spasic <[DSpasic@holdfast.sa.gov.au](mailto:DSpasic@holdfast.sa.gov.au)>

**Cc:** Brent Sinclair <[brent@dechellishomes.com.au](mailto:brent@dechellishomes.com.au)>

**Subject:** DA: 110/00668/19 - GLENELG NORTH, PATAWALONGA FR. - RESPONSE TO REPRESENTATION RECIEVED

# ATTACHMENT 4.0

Hi Dean,

Below is my response in regards to the representation received from the neighbours at 28A Patawalonga Frontage, Glenelg North, in regards to our proposal for the above mentioned DA number:

Given the constraints of our approximate 19.48m deep, 410m<sup>2</sup> allotment, it will be very difficult in achieving a larger setback as requested to the front of our proposed dwelling. The double garage on our proposal currently has a significant setback of 7m. If our dwelling was to be shifted a further setback from the road, it will then effect our private open space to the rear yard and deem it not to comply with the development plan – shifting the dwelling back in its current form is unrealistic given again, the constraints we have to design with in terms of the depth of the allotment, whilst maintaining a rear yard area that complies with the development plan. It is unfortunate that a slight view angled from the neighbouring dwelling allotments will be blocked, however, it would be fair to argue that approx. 145 degrees of the view will still be viewed from their balcony/portico. The overall site coverage for our allotment is below 50% which is a great result considering the large setback we currently have from the garage and rear yard setback.

We do not believe our proposal is too close to the neighbouring property. Given the fact there existing dwelling has been designed with their upper level sitting directly above there lower level (sharing the same side setback), overall increases the visual bulk and scale of their dwelling. Our proposal is of single storey element to the lower level (built on boundary), and upper level with a side setback of 1.9m, creating separation and reducing the bulk and scale of our dwelling. To further argue the side setback, there two storey element to their side setback is 290mm less than our upper level side setback component.

We have intended to reduce the wall height on boundary as much as possible by returning the parapet 1500mm in lieu of the entire length. The reasons for the extensive height on boundary is that we have 3000CL to the lower level – the boundary gutter always is higher than natural eave height by approx. 280mm with 550 eaves and 22 degree roof pitch (not pole plate construction). We cannot reduce the ceiling height to the double garage as this will in effect throw out the symmetry of the front façade, which is quite important with this design.

Overall, given the constraints of the site dimensions/location compared to the neighbouring 28A, and designing a plan which suits the client, we believe the overall setback, site coverage and private open space elements have all been addressed well and taken into account throughout the design process and final plan as submitted to council for CAT 2 notification. We have proceeded to this stage without further client changes as we have had no negative feedback from council, and currently in the process of preparing a contract for our client.

Thank you,

Kind Regards,

**Vince Mazzaferro**

**Team Leader of Planning Department**

**Dechellis  
Homes**

170 Payneham Rd, Evandale SA 5069

**P** 08 8362 7427 **W** [dechellishomes.com.au](http://dechellishomes.com.au)

Builder's Licence 151519 Member of HIA & MBA

OUR FAMILY BUILDING FOR YOUR FAMILY | MULTI AWARD WINNING BUILDER