

DEVELOPMENT NO.:	25027516
APPLICANT:	Hannah Baison
ADDRESS:	UNIT 1 53 BROADWAY GLENELG SOUTH SA 5045
NATURE OF DEVELOPMENT:	Alterations and additions to existing office building including ground and upper level additions
ZONING INFORMATION:	Zones: • Local Activity Centre Overlays: • Airport Building Heights (Regulated) • Building Near Airfields • Hazards (Flooding - General) • Prescribed Wells Area • Regulated and Significant Tree Technical Numeric Variations (TNVs): • Maximum Building Height (Levels) (Maximum building height is 1 level)
LODGEMENT DATE:	5 Sept 2025
RELEVANT AUTHORITY:	Council Assessment Panel
PLANNING & DESIGN CODE VERSION:	P&D Code (in effect) Version 2025.16 28/08/2025
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Dean Spasic Development Officer - Planning

CONTENTS:

APPENDIX 1: Relevant P&D Code Policies

ATTACHMENT 1: Proposed Plans

DETAILED DESCRIPTION OF PROPOSAL:

The proposal comprises a ground and upper level addition to an existing office building. There are no changes sought with respect to the land use.

SUBJECT LAND & LOCALITY:

Site Description:

Location Reference: Unit 1 35 Broadway Glenelg South SA 5045

Title reference: CT 5022 / 726 Plan Parcel S4527UN1

Council: City of Holdfast Bay

The site is a rectangular shaped allotment which has a frontage to Broadway and has a part wall shared with the neighbouring tenancy to the east (U2 53 Broadway). The site does not have any onsite car parking, with the building covering most of the site.



Locality

The locality accommodates a variety of land uses, including a pub, motel, shops, offices and consulting rooms, with residential properties beyond. The locality has a longstanding history of mixed uses that directly abut residential.



CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
 - Office
 - Building Alterations: Accepted
 - Office: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
 - Code Assessed - Performance Assessed

- **REASON**
P&D Code

PUBLIC NOTIFICATION**REASON**

development where the site is on a zone boundary with residential

REPRESENTATIONS

NIL

PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

Question of Seriously at Variance

The proposed development comprises the construction of a ground and upper level addition to an existing office building. It is in the Local Activity Centre Zone. Development of this nature is appropriate within the Zone for the following reasons.

An office is specifically listed as an anticipated land use in the Zone.

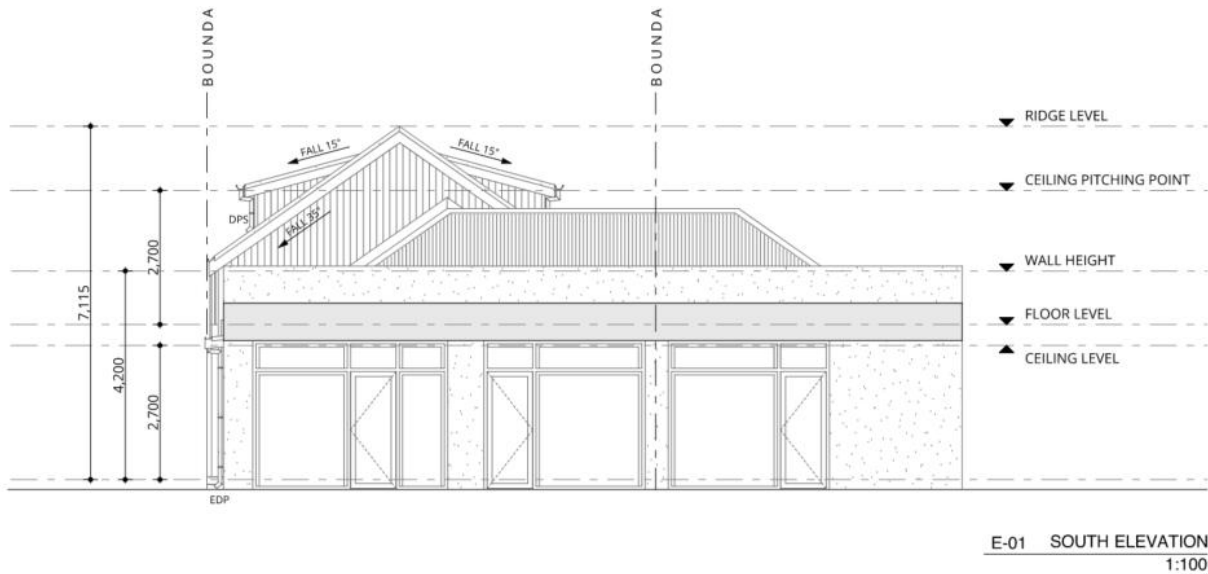
The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

Built Form and Scale

The building is shown as remaining the same from the street perspective, with the facade remaining as is. The building form alters some 16 metres behind the front wall to accommodate the upper level addition. The addition comprises a pitched sheet metal roof, which is complementary to the predominant roof forms found in the locality. This element will not be visually prominent from the street, notwithstanding, there are no planning issues with the actual building design.

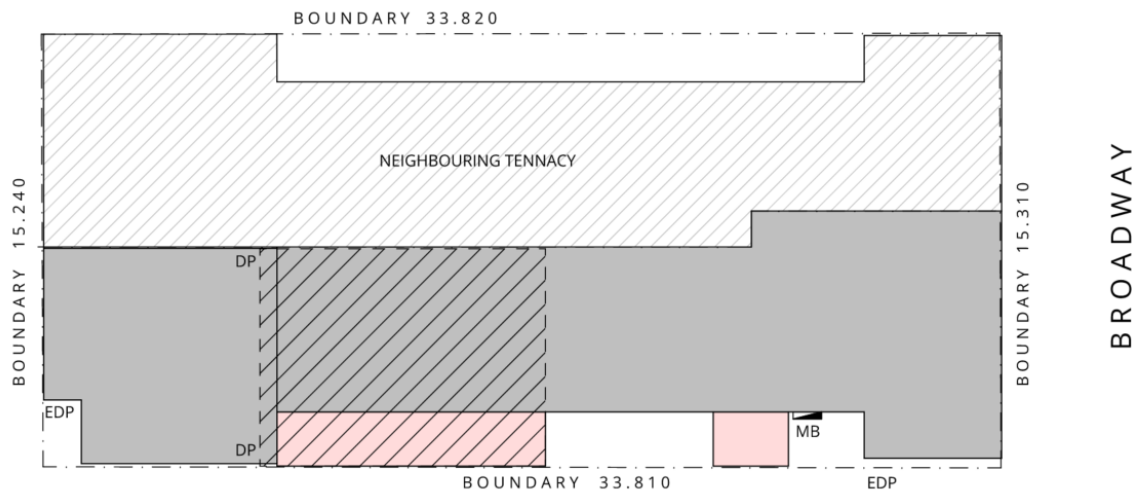
The built form perspective will be similar from the rear of the site, with the addition set in some 7.6 metres from the rear boundary. The rear of the site abuts a laneway, which abuts the car park of the nearby pub and rear gardens of adjacent residences.

Upstairs windows are located on the east and west elevations which overlook neighbouring commercial properties, however the window sills are 2 metres above the floor level.



Boundary Setbacks

The addition wall is up to 4.5 metres high and located on the eastern and western side boundaries, which are adjacent to other commercial premises, therefore issues pertaining to solar access and visual impacts are negligible. The 4.5 metre high wall is considered satisfactory in context with its overall setting.



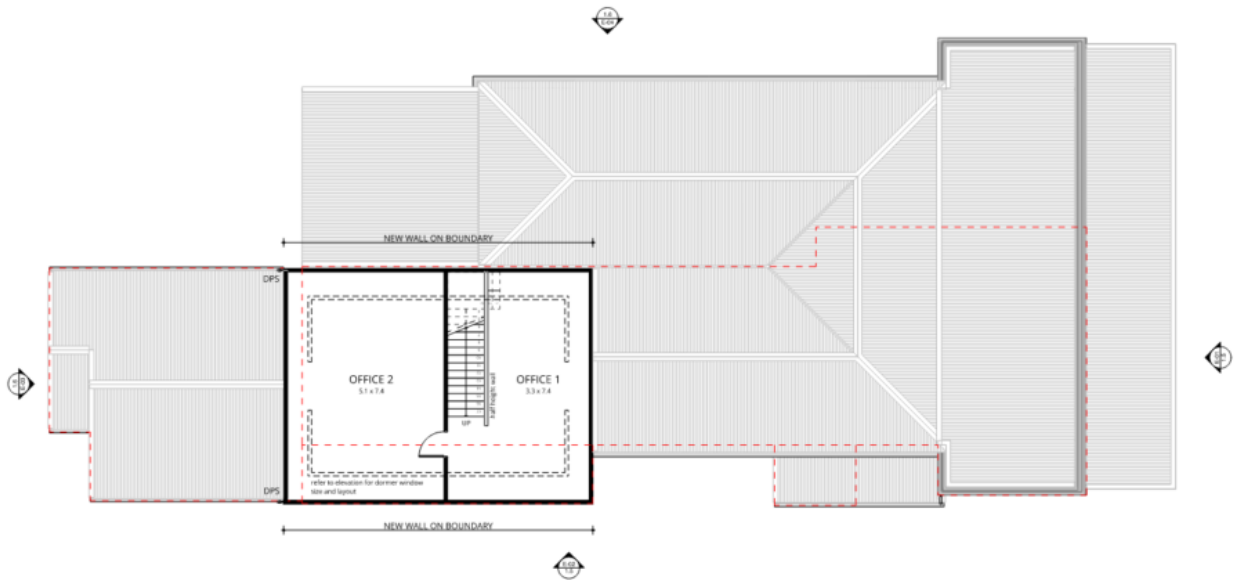
Car Parking

The proposed development creates an additional 75 square metres of office floor space which would generate an additional 3 on-site car parking spaces.

The site does not have any on-site car parking spaces, therefore the proposal presents a 3 car parking space shortfall.

From a general planning perspective, the locality has an abundance of on-street car parking with a time limit of 1 hour, therefore there should be sufficient opportunity for visitor car parking near the site. It is acknowledged that the locality can experience higher parking demand at certain periods, however this is a

positive, particularly in comparison to the opposite scenario of a commercial locality that has empty tenancies and low visitor rate.



Interface Between Land Uses

Offices are generally considered at the lower scale of non-residential land uses in terms of generating any nuisance to adjacent residential. Offices do not generate any appreciable noise that would impact on the amenity of residences.

The building works are located central to the existing building footprint and therefore are not visually intrusive from the perspective of adjacent residential properties nor are they positioned in a way that would compromise access to light and ventilation.

CONCLUSION

The proposed development presents a positive upgrade to an existing office land use, whilst being designed in such a way that does not visually detract from the appearance of the streetscape or adjacent residential land. The scale and position of the addition is subtle.

The proposal results in the generation of a demand for 3 additional on-site car parking which can create pressure on existing on-street parking facilities at certain peak periods, however on balance, the proposal for an office addition points to a reflection of a healthy commercial economy whereby a car parking shortfall of only 3 spaces is not considered significant so as to warrant a refusal.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

2. Development Application Number 25027516, by Hannah Baison is granted Planning Consent subject to the following reasons/conditions/reserved matters:

CONDITIONS**Planning Consent**

1. The development granted approval shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).
2. That the development herein approved shall operate between the hours of 7am to 9pm Monday to Friday and 8am to 5pm Saturday to Sunday inclusive unless written approval to vary the times is given by council.

ADVISORY NOTES**Planning Consent****Advisory Note 1**

The applicant has a right of appeal against the conditions which have been imposed on this Planning Consent. Such an appeal must be lodged at the Environment, Resources and Development Court within two months from the day of receiving this notice or such longer time as the Court may allow. The applicant is asked to contact the Court if wishing to appeal. The Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide, (telephone number 8204 0289).

Advisory Note 2

The owner/applicant is advised that infrastructure located within Council road reserve (i.e. area between the kerb and allotment boundary) should be designed and constructed (including modified) in accordance with relevant / current Council standards. This includes, but is not limited to, driveway crossovers, alterations to kerbing and footpaths, stormwater easement connections and domestic stormwater connection to the street watertable.

Advisory Note 3

If you are a developer or owner-builder, there are important Commonwealth telecommunications rules you need to comply with. For more information visit www.infrastructure.gov.au/tind

Advisory Note 4

The owner/applicant is advised that consent from any relevant easement or encumbrance owner may be required prior to any construction.

Easements may include, but are not limited to: drainage, Council easements (i.e. stormwater, encroachments, access etc), power transmission (SA Power Networks), telecommunications, or other forms of access (such as vehicle) rights of way.

Easements and encumbrances would be registered on the relevant Certificate of Title. The location of easements on the land would be shown on the Deposited Plan. A copy of the Certificate of Title and Deposited Plan can be obtained from the South Australian Integrated Land Information System (SAILIS) at:

<https://sailis.lssa.com.au/home/auth/login>

Advisory Note 5

If excavating, it is recommended you contact Before You Dig Australia (BYDA) (www.byda.com.au) to keep people safe and help protect underground infrastructure.

OFFICER MAKING RECOMMENDATION

Name: Dean Spasic
Title: Development Officer - Planning
Date: 28/10/25