

<b>DEVELOPMENT NO.:</b>	25017669
<b>APPLICANT:</b>	Tom Sagris
<b>ADDRESS:</b>	11A ESPLANADE SOMERTON PARK SA 5044
<b>NATURE OF DEVELOPMENT:</b>	Alterations and additions forward of existing dwelling and associated carports to side and rear of dwelling
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Waterfront Neighbourhood</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Airport Building Heights (Regulated)</li> <li>• Affordable Housing</li> <li>• Building Near Airfields</li> <li>• Coastal Flooding</li> <li>• Prescribed Wells Area</li> <li>• Regulated and Significant Tree</li> <li>• Stormwater Management</li> <li>• Urban Tree Canopy</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Finished Ground and Floor Levels (Minimum finished ground level is 3.2m AHD; Minimum finished floor level is 3.45m AHD)</li> <li>• Minimum Frontage (Minimum frontage for a detached dwelling is 5m; semi-detached dwelling is 5m; row dwelling is 5m; group dwelling is 5m; residential flat building is 5m)</li> <li>• Minimum Site Area (Minimum site area for a detached dwelling is 300 sqm; semi-detached dwelling is 250 sqm; row dwelling is 200 sqm; group dwelling is 200 sqm; residential flat building is 200 sqm)</li> <li>• Maximum Building Height (Levels) (Maximum building height is 3 levels)</li> </ul>
<b>LODGEMENT DATE:</b>	18 Jun 2025
<b>RELEVANT AUTHORITY:</b>	Assessment Panel at City of Holdfast Bay
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	P&D Code (in effect) Version 2025.10 29/05/2025
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes
<b>RECOMMENDING OFFICER:</b>	Dean Spasic Development Officer - Planning

## CONTENTS:

APPENDIX 1: Relevant P&D Code Policies

ATTACHMENT 1: Application Documents

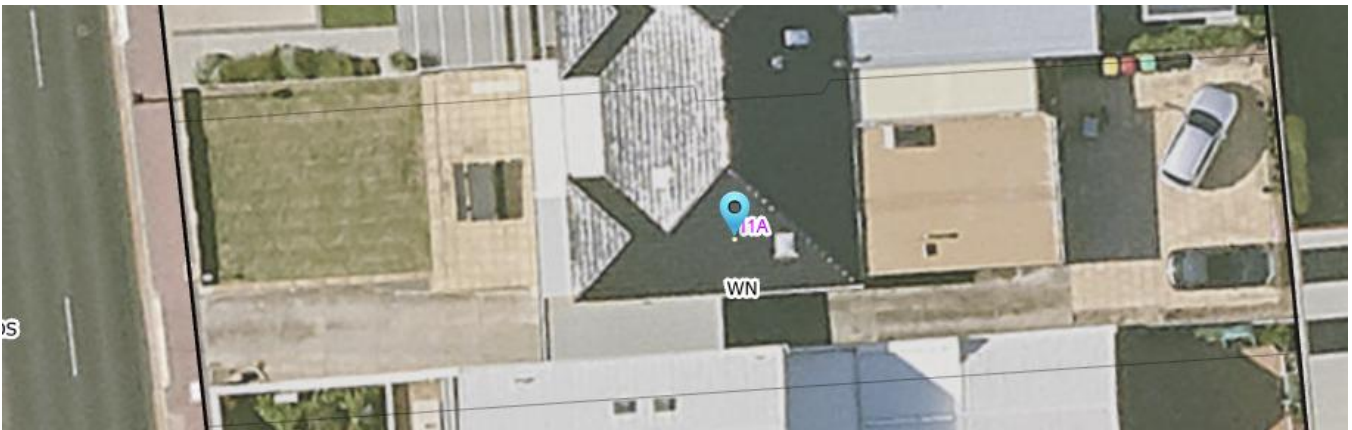
## SUBJECT LAND & LOCALITY:

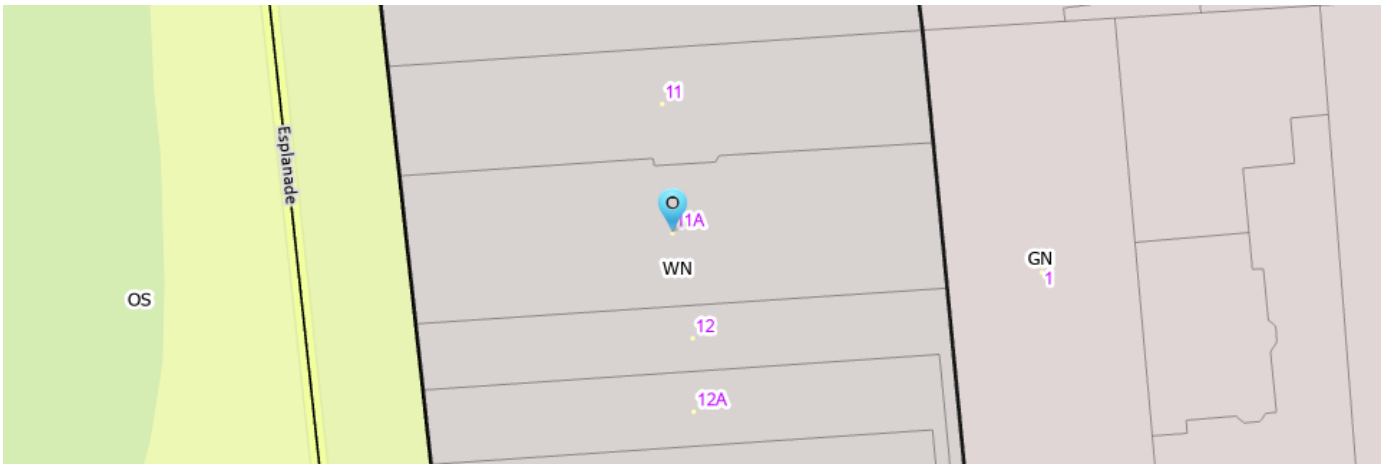
The subject land is approximately 560 square metres in area and faces the Esplanade with a 12.3 metre western frontage. It is one of a pair of semi-detached dwellings, sharing a building with 11 Esplanade to the north. The existing dwelling facade is some 16.2 metres from the Esplanade boundary, which is a substantial primary setback by today's standards.



## Locality

The locality is typical of the Waterfront Neighbourhood Zone, which accommodates substantial 2 to 3 level dwellings. East of the site is the General Neighbourhood Zone, which accommodates built form up to 2 levels. There is nothing particularly out of the ordinary with the Zone, with this section of the Esplanade containing a range of building styles from single to 3 level and both newer and older housing stock.





### CONSENT TYPE REQUIRED:

Planning Consent

### CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
  - Carport: Code Assessed - Performance Assessed
  - Building Alterations: Accepted
  - Dwelling addition: Code Assessed - Performance Assessed
  - Carport or garage
  - Dwelling alteration or addition
- **OVERALL APPLICATION CATEGORY:**
  - Code Assessed - Performance Assessed
- **REASON**
  - P&D Code

### PUBLIC NOTIFICATION

#### REASON

Boundary wall exceeds a height of 3 metres and length of 11.5 metres.

#### LIST OF REPRESENTATIONS

No representations were received.

### PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

#### Question of Seriously at Variance

The proposed development comprises a dwelling addition forward of the existing single level semi-detached dwelling. It is located in the Waterfront Neighbourhood Zone. Development of this nature is generally appropriate within the site, locality and the subject Zone, which

specifically envisages dwellings.

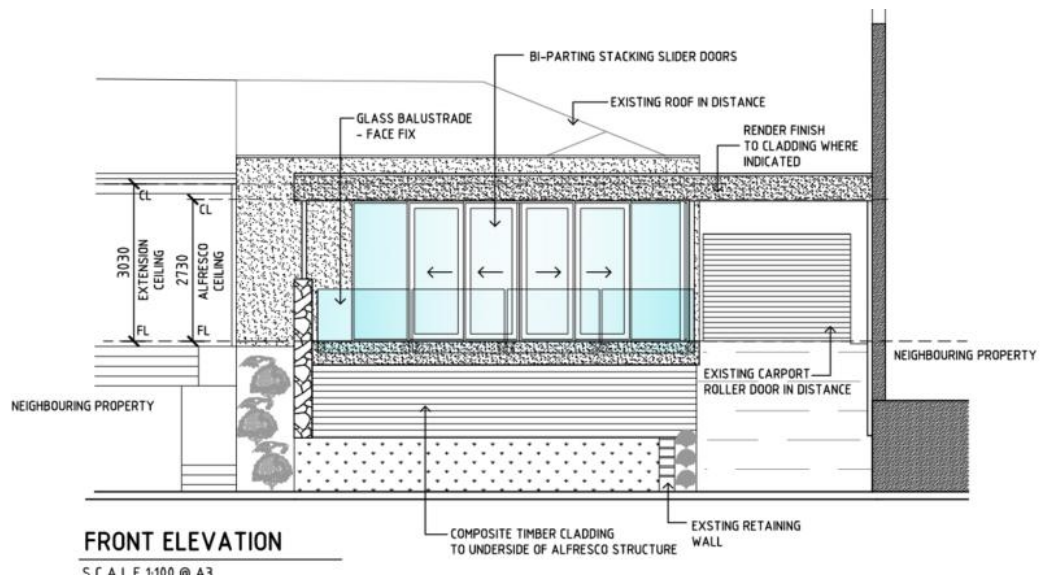
The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code, pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

### Built Form and Visual Appearance

The proposed built form comprises a single level addition forward of an existing single level semi-detached dwelling. The existing building reflects older housing stock comprising a hipped tiled roof, rendered walls and arch openings to the front windows.

The addition presents a modern, contemporary addition to the existing dwelling, with a flat roof, rendered walling and large squared openings with glazing to take in the seaward views. Glass balustrade and a verandah are provided for the front alfresco deck, which is set above the sloping front yard.

The proposed built form is complementary and compatible with the kind of development seen in the locality, albeit remaining single level in lieu of the capacity to achieve 3 levels.



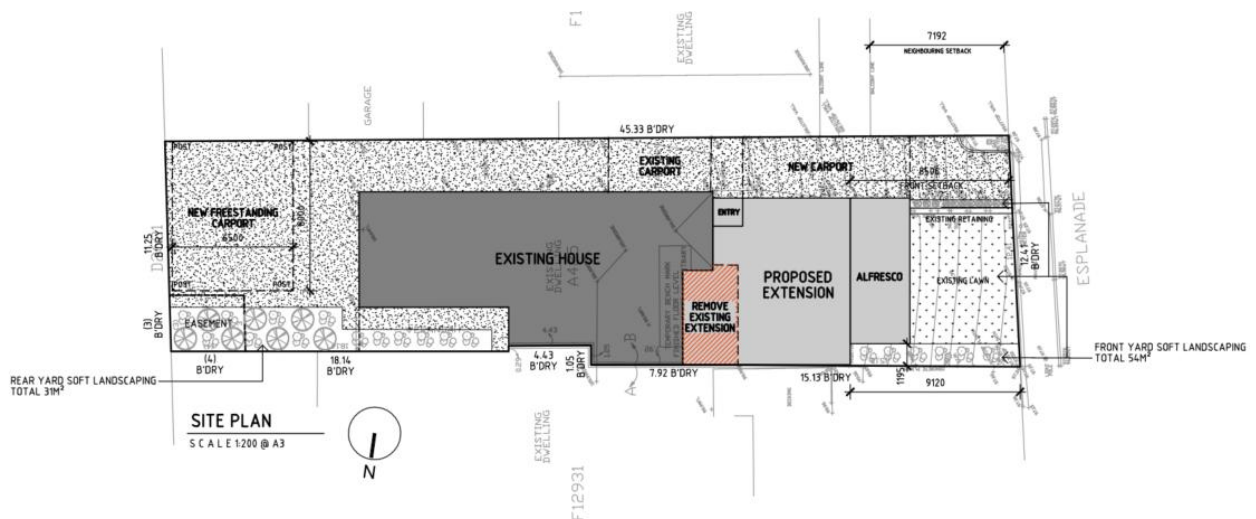
### Boundary Setbacks

The dwelling addition is setback 7.1 to 9.2 metres from the primary street boundary, which is complementary to the existing street setback pattern in the immediate locality. Front setbacks are more varied in the broader locality along the Esplanade in either direction.

The front verandah is setback between 5.4 and 5.8 metres from the primary street boundary, which is 3.1 metres forward of the building facade, but presents an important function in enhancing the seaward outlook, whilst providing cover from the western summer sun. Design in Urban Areas,

Residential Development, Low Rise, External Appearance PO 22.2 suggests that porches or porticos project at least 1 metre forward from the building wall, therefore in context with this site having a direct outlook to the Esplanade, the 3.1-metre-deep verandah is a positive viewpoint with respect to achieving energy efficiency and good environmental outcomes where possible and reasonable.

Regarding the primary street setback, Designated Performance Feature 5.1 suggests a minimum setback of the average setback of neighbouring dwellings. In this case, it would be 12.3 metres, which is considered excessive in context with newer and emerging built form in the locality. Critically, the consideration of an appropriate primary street setback must have regard to the relevant Performance Outcome 5.1, which seeks building setbacks that contribute to the existing/emerging pattern of setbacks in the streetscape and waterfront environment. In the context of this site, the proposed primary setback is compatible with the emerging front setback pattern and streetscape, particularly in the case here where it is adjacent to older housing stock and comprises a single level-built form.



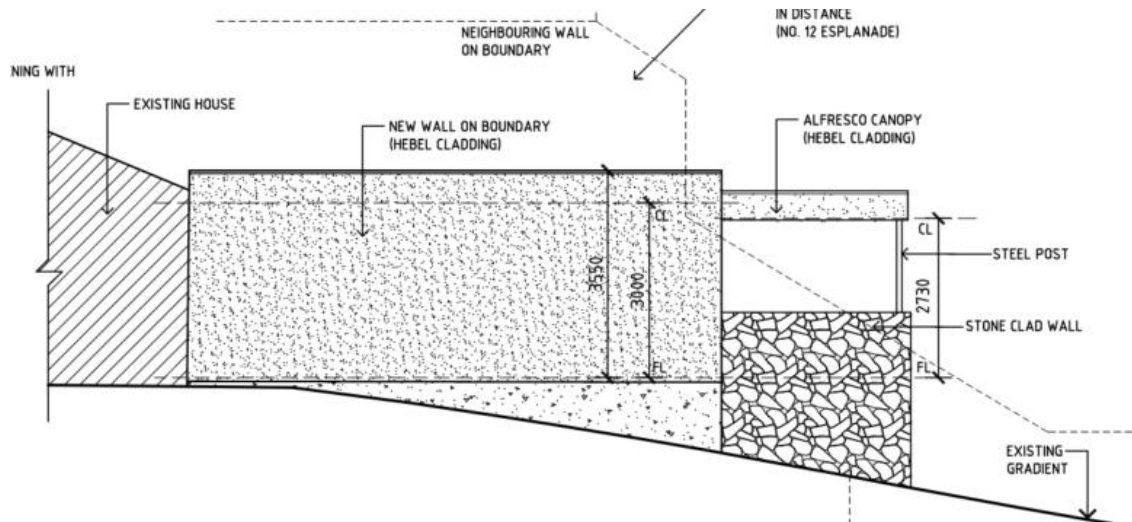
The building has a 3.5-metre-high wall (above the top of the footing) located on the northern side boundary. This comprises an addition of 9 metres to the existing boundary wall length of 5 metres, for a total boundary wall length of 14 metres.

The boundary wall height of 3.5 metres above the footing, on balance, is satisfactory, as the wall is on the northern side boundary, so does not present an overshadowing impact. Visually, the wall is relatively high from the northern neighbour's perspective. However, in context with the natural slope of the land, the build-up of the neighbour's deck and verandah that abut the addition, and the fact the wall does not cast a shadow on the northern neighbour, the overall wall height relative to natural ground level is acceptable.

The boundary wall is considered to satisfy the Zone Performance Outcome 7.1, in that the wall on the boundary is limited in height and length to manage visual and overshadowing impacts on adjoining neighbours. It extends approximately 1 metre forward of the neighbour's front deck and verandah, effectively closing that side in. While this results in the loss of some views to the southwest, it does provide some privacy and added protection from the prevailing south-westerly winds. Furthermore, this neighbour did not submit a representation objecting to the proposed development.



The impacts on the southern neighbour are relatively minor. That three-level dwelling has large walls on the common boundary, tapering down to the front. A portion of the proposed carport level with the proposed alfresco will be above the tapered wall, but predominantly open with negligible impacts relative to the scale of that dwelling.

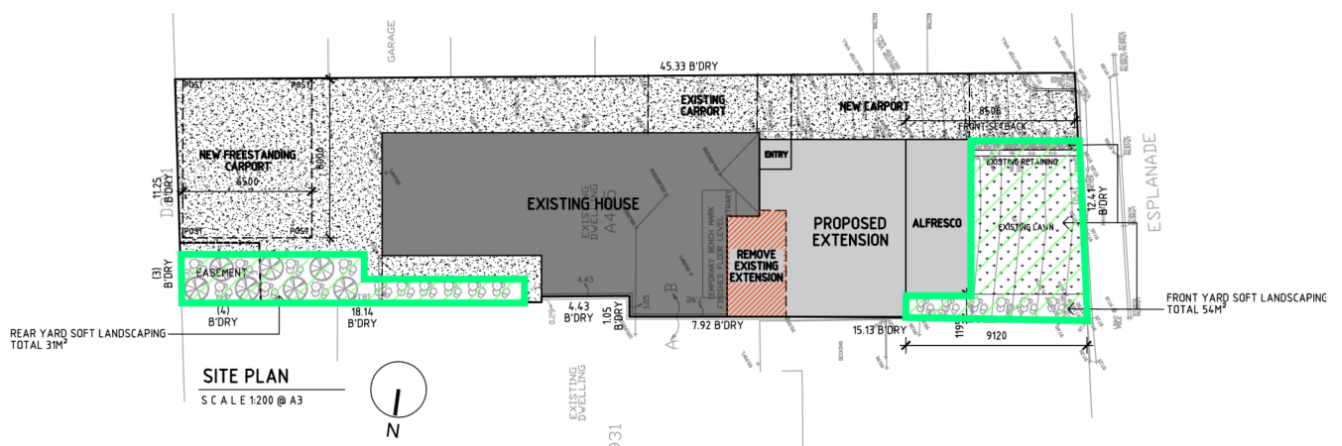


### Vehicle Access and Car Parking

The existing vehicle access is unchanged, using the driveway along the southern boundary, through the existing single side carport to the paved rear area. An extension of the existing carport towards the front provides one additional undercover space there. The proposed rear carport provides a further three undercover car parks.

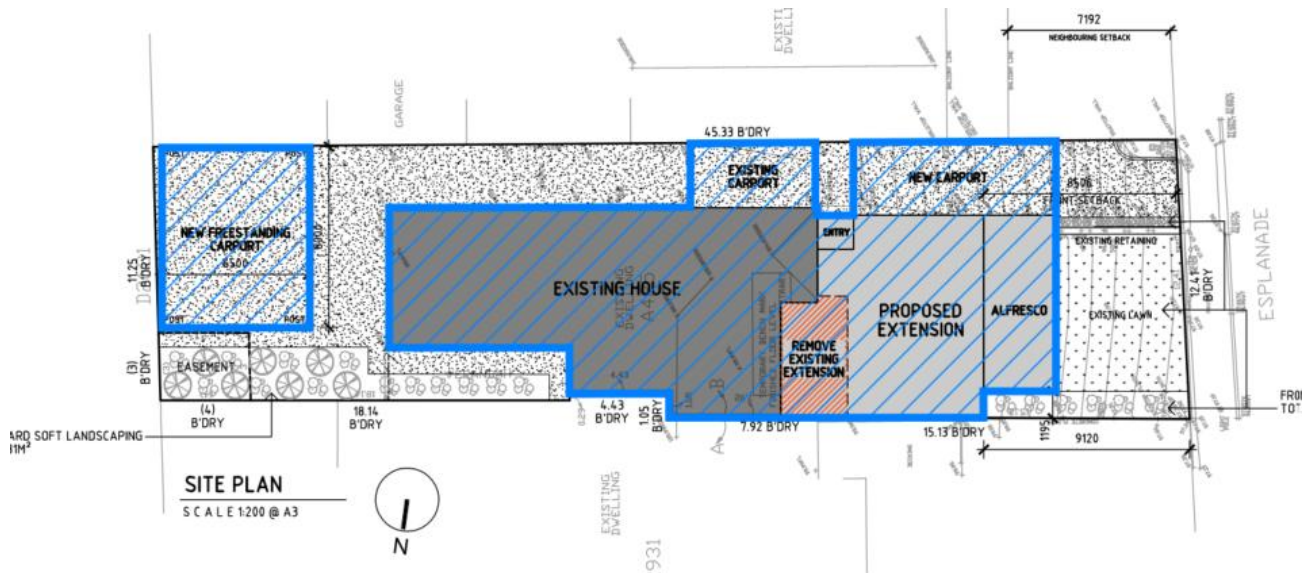
### Soft Landscaping

The site currently has soft landscaping amounting to 14 percent of the site area. The proposed development will result in soft landscaping amounting to 16 percent of the site area, which is a 2 percent net gain. This satisfies Performance Outcome 6.1 in that the development incorporates landscaping to minimise heat absorption and reflection, provides for stormwater infiltration and biodiversity, and enhances the appearance of land and streetscapes.



## Site Coverage

Site coverage amounts to 61 percent of the site area. This only slightly exceeds the 60% suggested by Zone DPF 3.1 and satisfies Performance Outcome 3.1 in that it allows for sufficient space around buildings to limit visual impact, provide an attractive outlook, and ensure access to natural light and ventilation.



## Private Open Space

The addition is located at the front of the existing dwelling, so has minimal loss of private open space. The new front alfresco area is located to enjoy ocean views. The new rear carport has flexibility for use as a rear verandah, so is not considered to be a loss of private open space. In the circumstances of this dwelling fronting the Esplanade and beach, the private open space is considered to be sufficient and appropriately designed.

## CONCLUSION

The proposed development was not subject to any objections from the public notification, including from either side neighbour affected by the proposed boundary development. The absence of any objections reinforces the fact that the proposed development does not present any adverse planning impacts to an extent that would warrant refusal. The proposed dwelling addition is considered to satisfy the relevant provisions of the Code to warrant Planning Consent.

## RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code, pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.
2. Development Application Number 25017669, by Tom Sagris is GRANTED Planning Consent subject to the following conditions:

## CONDITIONS

### **Planning Consent**

1. The development granted approval shall be undertaken and completed in accordance with the stamped plans and documentation).

## ADVISORY NOTES

### **Planning Consent**

#### **Advisory Note 1**

The applicant has a right of appeal against the conditions which have been imposed on this Planning Consent. Such an appeal must be lodged at the Environment, Resources and Development Court within two months from the day of receiving this notice or such longer time as the Court may allow. The applicant is asked to contact the Court if wishing to appeal. The Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide, (telephone number 8204 0289).

#### **Advisory Note 2**

The owner/applicant is advised that infrastructure located within Council Road reserve (i.e. area between the kerb and allotment boundary) should be designed and constructed (including modified) in accordance with relevant / current Council standards. This includes, but is not limited to, driveway crossovers, alterations to kerbing and footpaths, stormwater easement connections and domestic stormwater connection to the street water table.

#### **Advisory Note 3**

If you are a developer or owner-builder, there are important Commonwealth telecommunications rules you need to comply with. For more information visit [www.infrastructure.gov.au/tind](http://www.infrastructure.gov.au/tind)

#### **Advisory Note 4**

The owner/applicant is advised that consent from any relevant easement or encumbrance owner may be required prior to any construction. Easements may include, but are not limited to drainage, Council easements (i.e. stormwater, encroachments, access etc), power transmission (SA Power Networks), telecommunications, or other forms of access (such as vehicle) rights of way. Easements and encumbrances would be registered on the relevant Certificate of Title. The location of easements on the land would be shown on the Deposited Plan. A copy of the Certificate of Title and Deposited Plan can be obtained from the South Australian Integrated Land Information System (SAILIS) at: <https://sailis.lssa.com.au/home/auth/login>

#### **Advisory Note 5**

If excavating, it is recommended you contact Before You Dig Australia (BYDA) ([www.byda.com.au](http://www.byda.com.au)) to keep people safe and help protect underground infrastructure.