

DEVELOPMENT NO.:	25029569
APPLICANT:	Scott Bell
ADDRESS:	54 BUTTROSE ST GLENELG EAST SA 5045
NATURE OF DEVELOPMENT:	Two level detached dwelling, outbuilding and swimming pool
ZONING INFORMATION:	Zones: • Established Neighbourhood Overlays: • Airport Building Heights (Regulated) • Affordable Housing • Building Near Airfields • Character Area • Hazards (Flooding - General) • Prescribed Wells Area • Regulated and Significant Tree • Stormwater Management • Urban Tree Canopy Technical Numeric Variations (TNVs): • Minimum Frontage (Minimum frontage for a detached dwelling is 14m; semi-detached dwelling is 14m) • Minimum Site Area (Minimum site area for a detached dwelling is 600 sqm; semi-detached dwelling is 600 sqm) • Maximum Building Height (Levels) (Maximum building height is 1 level)
LODGEMENT DATE:	22 Sept 2025
RELEVANT AUTHORITY:	Council Assessment Panel
PLANNING & DESIGN CODE VERSION:	P&D Code (in effect) Version 2025.17 11/09/2025
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Dean Spasic Development Officer - Planning

CONTENTS:

APPENDIX 1:	Relevant P&D Code Policies
ATTACHMENT 1:	Application Documents
ATTACHMENT 2:	Representations

DETAILED DESCRIPTION OF PROPOSAL:

The proposal comprises the construction of a 2 level detached dwelling with associated verandah, outbuilding and swimming pool.

SUBJECT LAND & LOCALITY:**Site Description:**

Location Reference: 54 BUTTROSE ST GLENELG EAST SA 5045

Title Reference: CT 5717/531

Plan Reference: F217685AL88

Council: City of Holdfast Bay

The site is a 724 square metre site with a frontage of 15.85 metres facing Buttrose Street with a public reserve at the rear. It contains a single level detached dwelling which is to be demolished to accommodate the proposed dwelling, verandah, outbuilding and swimming pool.

**Locality**

The site is in the Established Neighbourhood Zone, Glenelg East Character Area which is characterised by buildings established in the 1900 to 1930s, large front setbacks, small side setbacks, a range of dwelling forms (including Federation, Tudor Revival, Californian Bungalow, Art Deco, Spanish Mission and some Post-War Austerity and Conventional style dwellings).



CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
 - New housing
 - Detached dwelling: Code Assessed - Performance Assessed
 - Swimming pool or spa pool and associated swimming pool safety features: Code Assessed - Performance Assessed
 - Shed
 - Outbuilding (Shed): Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
 - Code Assessed - Performance Assessed
- **REASON**
 - P&D Code

PUBLIC NOTIFICATION

REASON

Greater than 1 building level

LIST OF REPRESENTATIONS

1 Representation received from 'Fran E' of 12 Wilcox Street, Adelaide who has referenced that they do not support the development on the grounds of a large tree being removed and does not support the demolition of a heritage home.

This representor did not leave a reference to their relationship to the suburb of Glenelg East.

The applicant submitted a response to representations (see Attachment 3), summarised as follows:

- The tree in question is a Canary Island Date Palm, which is exempt from the Regulations pertaining to Regulated and Significant Trees.
- The removal of the tree therefore has no relevance to the assessment of, or merits of the proposed development.
- The house to be demolished is not heritage listed, nor is the house located in a Historic Conservation Overlay.
- Reference to the house being 'heritage' is misleading, incorrect and has no relevance to the assessment of, or merits of the proposed development.

PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

Question of Seriously at Variance

The proposed development comprises the construction of a two level detached dwelling with associated verandah, outbuilding and swimming pool. It is in the Established Neighbourhood Zone, Glenelg East Character Area. Development of this nature is appropriate within the Zone for the following reasons.

Dwellings and associated minor domestic structures and swimming pools are specifically envisaged by the Zone.

The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

Built Form and General Appearance

In the Glenelg East Character Area, dwellings typically have the following design elements:

- High degree of modulation and articulation;
- Low scale;
- Steep roof pitches in the order of 25 to 35 degrees;
- Short roof spans;
- Hip and gable roof forms;
- Deep verandahs and porches;
- Fine grain detail to elements such as plinths, string courses, projecting sills;
- High solid to void ratio;
- Vertical proportions to windows and doors;
- Garages, carports and outbuildings are low in scale and generally unobtrusive to the rear or side of dwellings;
- Single storey
- Materials such as corrugated iron or terracotta roofing, brick, sandstone, stucco and part rendered finishes, timber joinery to fascia barge, window frames, door frames and doors and gable strapping;

- Low scale front fencing

The proposed dwelling is designed in such a way that suitably complements the prevailing character of the locality, with design elements satisfying each of the points listed above.

The dwelling presents as single level when viewed from the street, with the upper level component well hidden, set in 9.3 metres from the dwelling facade and hidden behind the pitched roof.

From a design perspective, the proposed dwelling is a great example of how newer dwellings can be designed to seamlessly complement the existing neighbourhood character.

Although the building is 2 levels in a single level locality, the actual impacts relating to the proposed level exceedance is negligible by all measurable standards, in that it results in nil associated impacts.



Boundary Setbacks

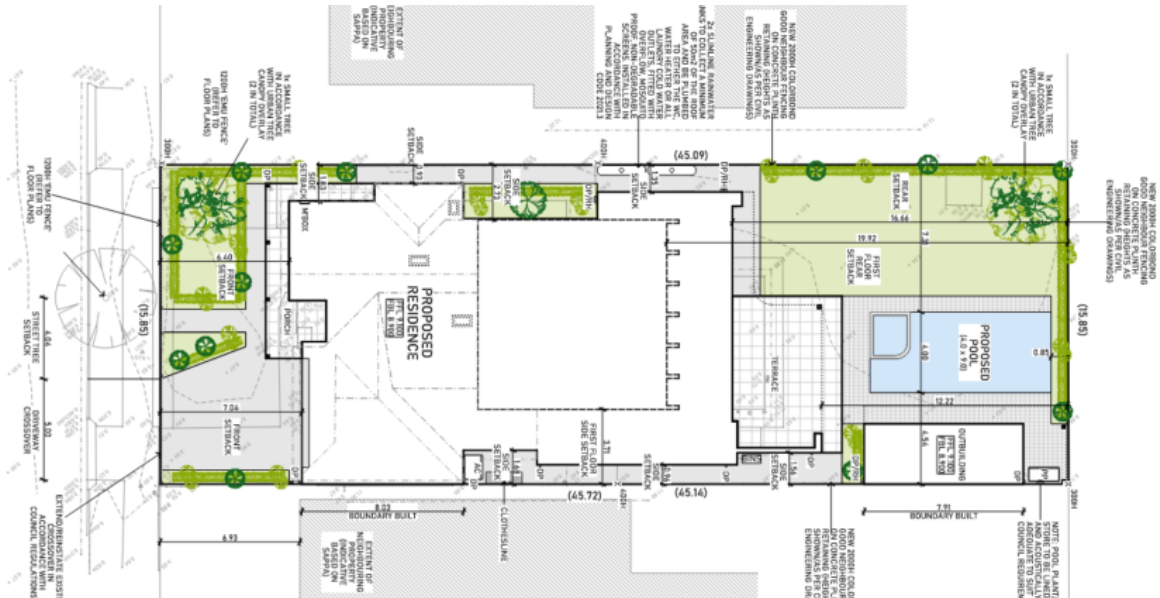
The building is setback 6.4 to 7 metres from the primary street boundary, which is complementary to the existing streetscape. The building is slightly forward of the average neighbouring building setback (6.95 metres) however on balance, the 550mm front setback variance concerning a 4.7 metre wide element of the facade is negligible.

The garage wall is located on the southern side boundary with a height of 2.7 metres over a length of 8 metres, which is within the Design Code parameters of 3.2 metres height and 8 metres length.

The ground level walls are up to 3.3 metres high and setback at least 930mm from side boundaries. According to Designated Performance Feature 8.1 pertaining to side boundary setbacks, the minimum side boundary setback should be in the range of 1 metre. the 70mm variance is deemed to be negligible with respect to light and ventilation considerations.

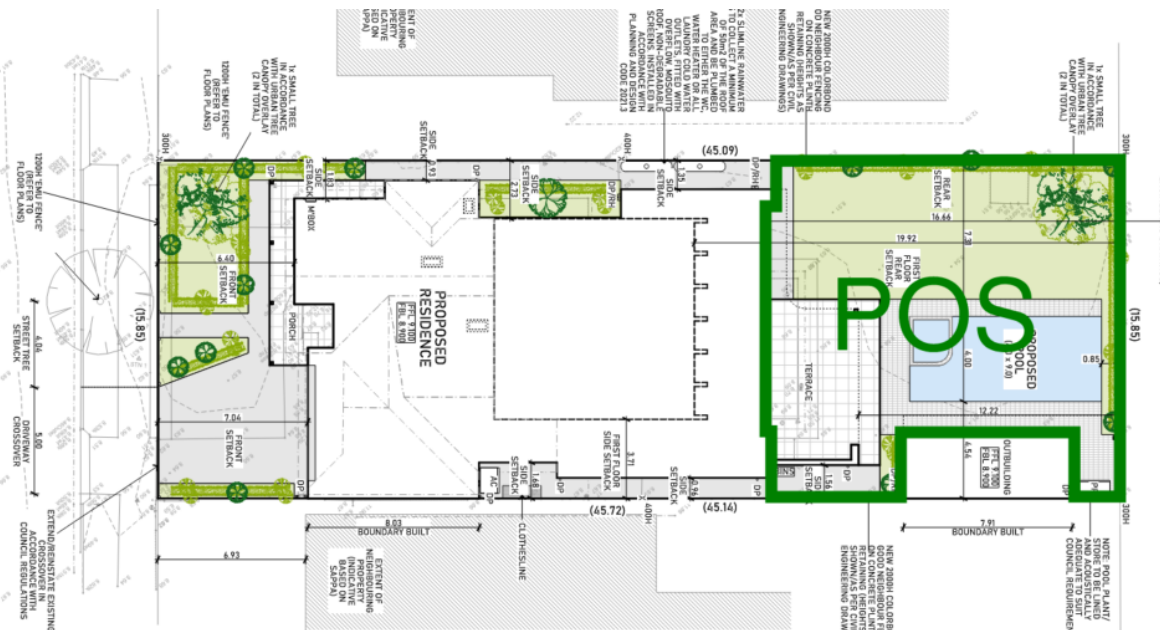
The upper level wall is 7.3 metres high and setback 2.7 metres from the northern side boundary and 3.7 metres from the southern side boundary. According to the Designated Performance Feature 8.1 pertaining to side boundary setbacks, the upper level wall should be setback at least 2.3 metres from the northern side boundary and 3.3 metres from the southern side boundary, to which both minimum distances are achieved.

At the ground level, the building is setback 16.6 metres and at the upper level 19.9 metres from the rear boundary, which satisfies the Designated Performance Feature 9.1 which anticipates a setback of 4 and 6 metres respectively.



Private Open Space

The proposal accommodates a private open space area of some 236 square metres, directly accessible from a living space, and substantially exceeding the minimum of 60 square metres sought by the Design Code.



Site Coverage

Site coverage amounts to 50 percent of the site area, which satisfies the maximum of 50 percent anticipated by Designated Performance Feature 3.1.

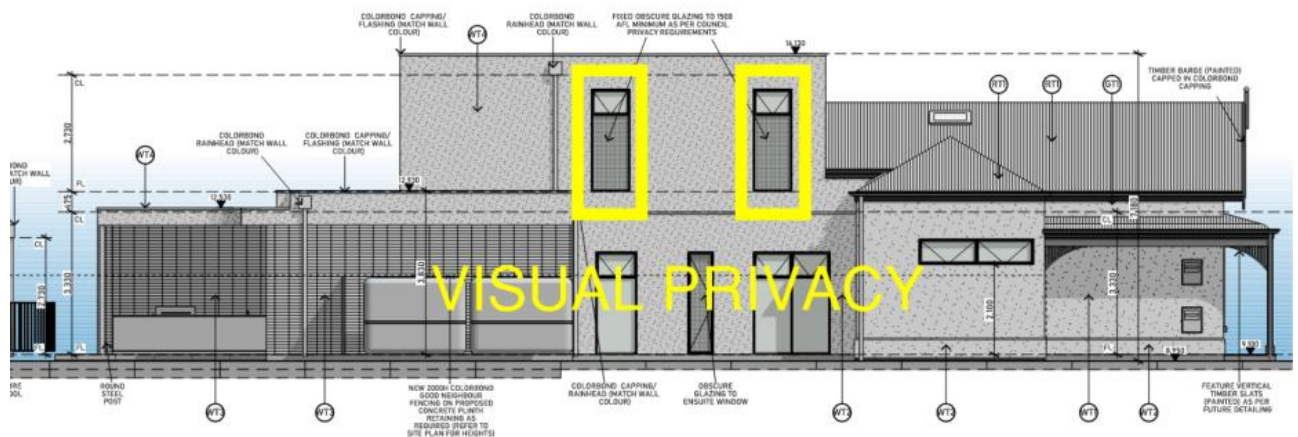
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Vehicle Access and Car Parking

The site accommodates vehicle access that does not interfere with any street trees, stobie poles or side entry pits. The proposal accommodates at least 3 on-site car parking spaces and therefore exceeding the minimum requirement of 2 on-site spaces.

Visual Privacy

Upstairs windows are shown to be obscured up to 1.7 metres above the upper floor level, which exceeds the minimum standard of 1.5 metres. The proposal therefore does not present any adverse impacts pertaining to visual privacy.



Verandah

The verandah is attached to the rear of the dwelling, is setback 1.5 metre from the southern side boundary and facilitates undercover use of the rear yard. The verandah is a minor element of the proposal and satisfies all relevant Design Code provisions.

Outbuilding

The outbuilding is in the rear yard on the southern side boundary, with a boundary wall height of 3 metres over a length of 7.9 metres. The floor area is 23 square metres and contains a gym, sauna and bathroom. The outbuilding is regarded as non-habitable and is a kind of development that is anticipated in a Neighbourhood Zone.

Swimming Pool

The swimming pool is in the rear yard and setback over 4.5 metres from the side boundaries and 850mm from the rear boundary. It is positioned in a way that does not present any adverse planning impacts on neighbouring land, as it is not visible and the pool itself is anticipated in residential settings for the facilitation of outdoor domestic recreation.

The pool equipment is in the south-eastern corner of the rear yard and conditioned to ensure noise levels are contained to the maximum standards to ensure the amenity of neighbouring residents is not unduly compromised.

CONCLUSION

The proposed development presents a great example of new housing stock that is designed in such a way that complements the existing and traditional built form character of the Glenelg East Character Area.

The proposal satisfactorily satisfies all relevant Design Code guidelines, with the only technical shortfall being with respect to the additional building level, however the overall design has clearly demonstrated that the 2nd level is negligible and does not adversely compromise the character of the locality.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.
2. Development Application Number 25029569, by Scott Bell is granted Planning Consent subject to the following reasons/conditions/reserved matters:

CONDITIONS

Planning Consent

1. The development granted approval shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).
2. That landscaping as detailed in the approved plans shall be planted prior to occupation and shall be maintained in good health and condition at all times. Any such vegetation shall be replaced if and when it dies or becomes seriously diseased.
3. Tree(s) must be planted and/or retained in accordance with DTS/DPF 1.1 of the Urban Tree Canopy Overlay in the Planning and Design Code (as at the date of lodgement of the application). New trees must be planted within 12 months of occupation of the dwelling(s) and maintained.
4. That all upstairs windows, other than facing the street, shall have minimum window sill heights of 1.5 metres above finished floor level, or any glass below 1.5 metres shall be obscure and fixed shut and be installed prior to occupation of the dwelling.
5. Rainwater tank(s) must be installed in accordance with DTS/DPF 1.1 of the Stormwater Management Overlay in the Planning and Design Code (as at the date of lodgement of the application) within 12 months of occupation of the dwelling(s).
6. The stormwater disposal system shall cater for a 5 year rainfall event with discharge to the street not to exceed 10 litres per second. Any excess above this flow is to be detained on site. All stormwater collected on the site must only be discharged to the street and not on to any adjacent properties.

7. The pool filter pump must be enclosed in such a way that noise levels do not exceed 52 d(a) between 7am and 10pm on the same day, and 45db(a) between 10pm and 7am the next day measured at adjoining property boundaries.

ADVISORY NOTES**Planning Consent****Advisory Note 1**

The applicant has a right of appeal against the conditions which have been imposed on this Planning Consent. Such an appeal must be lodged at the Environment, Resources and Development Court within two months from the day of receiving this notice or such longer time as the Court may allow. The applicant is asked to contact the Court if wishing to appeal. The Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide, (telephone number 8204 0289).

Advisory Note 2

The owner/applicant is advised that infrastructure located within Council road reserve (i.e. area between the kerb and allotment boundary) should be designed and constructed (including modified) in accordance with relevant current Council standards. This includes, but is not limited to, driveway crossovers, alterations to kerbing and footpaths, stormwater easement connections and domestic stormwater connection to the street watertable.

Advisory Note 3

If you are a developer or owner-builder, there are important Commonwealth telecommunications rules you need to comply with. For more information visit www.infrastructure.gov.au/tind

Advisory Note 4

The owner/applicant is advised that consent from any relevant easement or encumbrance owner may be required prior to any construction.

Easements may include, but are not limited to: drainage, Council easements (i.e. stormwater, encroachments, access etc), power transmission (SA Power Networks), telecommunications, or other forms of access (such as vehicle) rights of way.

Easements and encumbrances would be registered on the relevant Certificate of Title. The location of easements on the land would be shown on the Deposited Plan. A copy of the Certificate of Title and Deposited Plan can be obtained from the South Australian Integrated Land Information System (SAILIS) at:
<https://sailis.lssa.com.au/home/auth/login>

Advisory Note 5

If excavating, it is recommended you contact Before You Dig Australia (BYDA) (www.byda.com.au) to keep people safe and help protect underground infrastructure.

OFFICER MAKING RECOMMENDATION

Name: Dean Spasic
Title: Development Officer - Planning
Date: 28/10/25