

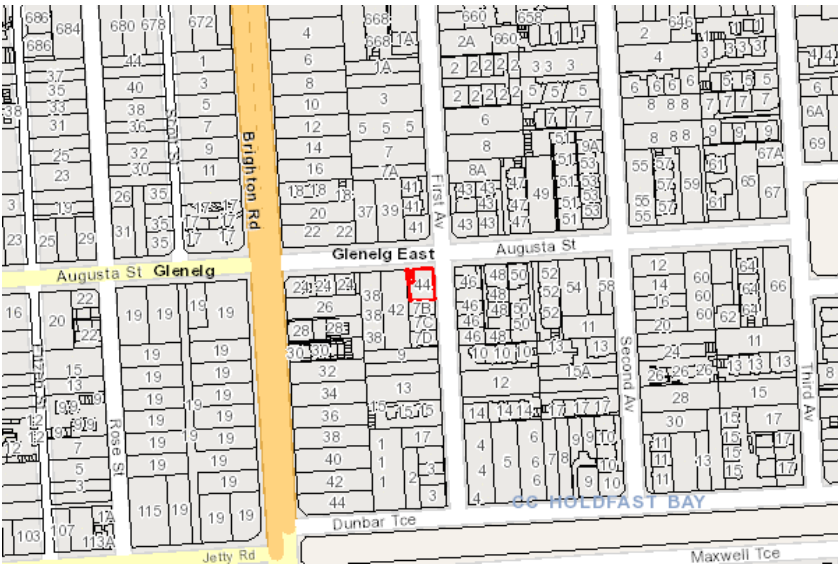
UNIT 1 44 AUGUSTA ST GLENELG EAST SA 5045

Address:

Click to view a detailed interactive [SAILIS](#) in [SAILIS](#)

Appendix 1

To view a detailed interactive property map in SAPPA click on the map below



Property Zoning Details

Zone	Established Neighbourhood
Overlay	Airport Building Heights (Regulated) (<i>All structures over 15 metres</i>) Affordable Housing Building Near Airfields Character Area (<i>HoBC3</i>) Hazards (Flooding - General) Prescribed Wells Area Regulated and Significant Tree Stormwater Management Traffic Generating Development Urban Tree Canopy
Local Variation (TNV)	Minimum Frontage (<i>Minimum frontage for a detached dwelling is 14m; semi-detached dwelling is 14m</i>) Minimum Site Area (<i>Minimum site area for a detached dwelling is 600 sqm; semi-detached dwelling is 600 sqm</i>) Maximum Building Height (Levels) (<i>Maximum building height is 1 level</i>)

Selected Development(s)

Dwelling addition

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.
If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Dwelling addition - Code Assessed - Deemed to Satisfy

Part 2 - Zones and Sub Zones

Established Neighbourhood Zone

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Deemed to Satisfy			
Site coverage			
DTS/DPF 3.1			
Development does not result in site coverage exceeding:			
In instances where:			
<div><div>(a)</div><div>no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies</div></div> <div><div>(b)</div><div>more than one value is returned in the same field, refer to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</div></div>			
Building Height			
DTS/DPF 4.1			
Building height (excluding garages, carports and outbuildings) is no greater than:			
<div><div>(a)</div><div>the following:</div></div>			
<table><tr><th>Maximum Building Height (Levels)</th></tr><tr><td>Maximum building height is 1 level</td></tr></table>		Maximum Building Height (Levels)	Maximum building height is 1 level
Maximum Building Height (Levels)			
Maximum building height is 1 level			
<div><div>(b)</div><div>in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m.</div></div>			
In relation to DTS/DPF 4.1, in instances where:			
<div><div>(c)</div><div>more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer</i> or <i>Maximum Building Height (Meters) Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development.</div></div> <div><div>(d)</div><div>only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</div></div>			
DTS/DPF 4.2			
Additions and alterations:			
<div><div>(a)</div><div>are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street</div></div> <div>or</div> <div><div>(b)</div><div>meet all of the following:</div><div><div>(i)</div><div>do not include any development forward of the front façade building line</div></div><div><div>(ii)</div><div>where including a second or subsequent building level addition, does not project beyond a 45 degree angle measured from ground level at the building line of the existing building.</div></div></div>			

Secondary Street Setback

DTS/DPF 6.1

Building walls are set back from the secondary street boundary (other than a rear laneway):

(a) no less than:

or

(b) 900mm, whichever is greater

or

(c) if a dwelling on any adjoining allotment is closer to the secondary street, the distance of that dwelling from the boundary with the secondary street.

In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero.

Boundary Walls

DTS/DPF 7.1

Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:

(a)

or

(b) where no side boundary setback value is returned in (a) above, and except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:

(i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height

(ii) side boundary walls do not:

- A. exceed 3.2m in height from the lower of the natural or finished ground level
- B. exceed 8m in length
- C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary
- D. encroach within 3m of any other existing or proposed boundary walls on the subject land.

DTS/DPF 7.2

Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.

Side Boundary Setback

DTS/DPF 8.1

Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary:

(a) no less than:

(b) in all other cases (i.e. there is a blank field), then:

- (i) at least 900mm where the wall is up to 3m
- (ii) other than for a south facing wall, at least 900mm plus 1/3 of the wall height above 3m
- (iii) at least 1.9m plus 1/3 of the wall height above 3m for south facing walls.

Rear Boundary Setback
<p>DTS/DPF 9.1</p> <p>Other than in relation to an access lane way, buildings are set back from the rear boundary at least:</p> <ul style="list-style-type: none"> (a) 4m for the first building level (b) 6m for any second building level.
Appearance
<p>DTS/DPF 10.1</p> <p>Garages and carports facing a street (other than an access lane way):</p> <ul style="list-style-type: none"> (a) are set back at least 0.5m behind the building line of the associated dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m.

Part 3 - Overlays

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
Built Form
<p>DTS/DPF 1.1</p> <p>Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas.</p> <p>In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.</p>

Building Near Airfields Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
<p>DTS/DPF 1.3</p> <p>The distance from any part of a runway centreline to the closest point of the building is not less than 35 times the building height.</p>

Character Area Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
Alterations and Additions	
DTS/DPF 3.1	<p>Additions and alterations:</p> <ul style="list-style-type: none"> (a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street or (b) meet all of the following: <ul style="list-style-type: none"> (i) do not include any development forward of the front façade building line (ii) any side or rear extensions are no closer to the side boundary than the existing building (iii) do not involve the construction or alteration of a second or subsequent building level.

Hazards (Flooding – General) Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
Flood Resilience	
DTS/DPF 2.1	<p>Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished ground and floor level not less than:</p> <p>In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.</p>

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy

DTS/DPF 1.1

One of the following is satisfied:

- (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the *Electricity Act 1996*
- (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy

All Development

On-site Waste Treatment Systems

DTS/DPF 6.1

Effluent disposal drainage areas do not:

- (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space
- (b) use an area also used as a driveway
- (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.

Earthworks and sloping land

DTS/DPF 8.1

Development does not involve any of the following:

- (a) excavation exceeding a vertical height of 1m
- (b) filling exceeding a vertical height of 1m
- (c) a total combined excavation and filling vertical height of 2m or more.

DTS/DPF 8.2

Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):

- (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway
- (b) are constructed with an all-weather trafficable surface.

Overlooking / Visual Privacy (low rise buildings)

DTS/DPF 10.1

Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:

- (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm
- (b) have sill heights greater than or equal to 1.5m above finished floor level

- (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.

DTS/DPF 10.2

One of the following is satisfied:

- (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace
or
(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:
- (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land
or
 - (ii) 1.7m above finished floor level in all other cases

All residential development

Outlook and Amenity

DTS/DPF 18.1

A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.

Residential Development - Low Rise

Private Open Space

DTS/DPF 21.1

Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.

DTS/DPF 21.2

Private open space is directly accessible from a habitable room.

Landscaping

DTS/DPF 22.1

Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):

- (a) a total area as determined by the following table:

Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site
<150	10%
150-200	15%
>200-450	20%
>450	25%

- (b) at least 30% of any land between the primary street boundary and the primary building line.

Car parking, access and manoeuvrability

DTS/DPF 23.1

Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):

- (a) single width car parking spaces:
 - (i) a minimum length of 5.4m per space
 - (ii) a minimum width of 3.0m
 - (iii) a minimum garage door width of 2.4m
- (b) double width car parking spaces (side by side):
 - (i) a minimum length of 5.4m
 - (ii) a minimum width of 5.4m
 - (iii) minimum garage door width of 2.4m per space.

DTS/DPF 23.2

Uncovered car parking spaces have:

- (a) a minimum length of 5.4m
- (b) a minimum width of 2.4m
- (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.

DTS/DPF 23.3

Driveways and access points satisfy (a) or (b):

- (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site
- (b) sites with a frontage to a public road greater than 10m:
 - (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;
 - (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.

DTS/DPF 23.4

Vehicle access to designated car parking spaces satisfy (a) or (b):

- (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land
- (b) where newly proposed, is set back:
 - (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner
 - (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance
 - (iii) 6m or more from the tangent point of an intersection of 2 or more roads
 - (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.

DTS/DPF 23.5

Driveways are designed and sited so that:

- (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average
- (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary.

- (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site

DTS/DPF 23.6

Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:

- (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)
- (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly
- (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

Waste storage

DTS/DPF 24.1

Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:

- (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and
- (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <ul style="list-style-type: none"> (a) Site area <301m²: 24m² located behind the building line. (b) Site area ≥ 301m²: 60m² located behind the building line. <p>Minimum directly accessible from a living room: 16m² / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
Wastewater Services
<p>DTS/DPF 12.2</p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

Transport, Access and Parking

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

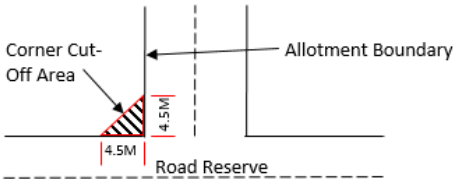
Deemed to Satisfy
Vehicle Parking Rates
<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> (a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements (b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.
Corner Cut-Offs
<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

Class of Development	<p>Car Parking Rate (unless varied by Table 2 onwards)</p> <p>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p>
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Group Dwelling	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Residential Flat Building	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Row Dwelling where vehicle access is from the primary street	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Semi-Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>

Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is: 1 space for each dwelling with a total floor area less than 75 square metres 2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres 3 spaces for each dwelling with a total floor area greater than 150 square metres. Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.	Capital City Zone City Main Street Zone City Riverbank Zone Adelaide Park Lands Zone Business Neighbourhood Zone (within the City of Adelaide) The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone

Table 2 - CriteriaThe following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:	<p>(a) All zones in the City of Adelaide</p> <p>(b) Strategic Innovation Zone in the following locations:</p> <p>(i) City of Burnside</p> <p>(ii) City of Marion</p> <p>(iii) City of Mitcham</p>

(a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service ⁽²⁾	(c) Urban Corridor (Boulevard) Zone
(b) is within 400 metres of a bus interchange ⁽¹⁾	(d) Urban Corridor (Business) Zone
(c) is within 400 metres of an O-Bahn interchange ⁽¹⁾	(e) Urban Corridor (Living) Zone
(d) is within 400 metres of a passenger rail station ⁽¹⁾	(f) Urban Corridor (Main Street) Zone
(e) is within 400 metres of a passenger tram station ⁽¹⁾	(g) Urban Neighbourhood Zone
(f) is within 400 metres of the Adelaide Parklands.	

[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

Dwelling addition - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

Established Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Site coverage	
PO 3.1 Building footprints are consistent with the character and	DTS/DPF 3.1 Development does not result in site coverage exceeding:

pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.	<p>In instances where:</p> <ul style="list-style-type: none">(a) no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies(b) more than one value is returned in the same field, refer to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.		
Building Height			
<p>PO 4.1</p> <p>Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.</p>	<p>DTS/DPF 4.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <ul style="list-style-type: none">(a) the following: <table><tr><th>Maximum Building Height (Levels)</th></tr><tr><td>Maximum building height is 1 level</td></tr></table> <ul style="list-style-type: none">(b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m. <p>In relation to DTS/DPF 4.1, in instances where:</p> <ul style="list-style-type: none">(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer</i> or <i>Maximum Building Height (Meters) Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development.(d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.	Maximum Building Height (Levels)	Maximum building height is 1 level
Maximum Building Height (Levels)			
Maximum building height is 1 level			
<p>PO 4.2</p> <p>Additions and alterations do not adversely impact on the streetscape character.</p>	<p>DTS/DPF 4.2</p> <p>Additions and alterations:</p> <ul style="list-style-type: none">(a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street or(b) meet all of the following:<ul style="list-style-type: none">(i) do not include any development forward of the front façade building line(ii) where including a second or subsequent building level addition, does not project beyond a 45 degree angle measured from ground level at the building line of the existing building.		
Secondary Street Setback			
<p>PO 6.1</p>	<p>DTS/DPF 6.1</p>		

Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character.	<p>Building walls are set back from the secondary street boundary (other than a rear laneway):</p> <p>(a) no less than:</p> <p>or</p> <p>(b) 900mm, whichever is greater</p> <p>or</p> <p>(c) if a dwelling on any adjoining allotment is closer to the secondary street, the distance of that dwelling from the boundary with the secondary street.</p> <p>In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero.</p>
Boundary Walls	
<p>PO 7.1</p> <p>Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:</p> <p>(a)</p> <p>or</p> <p>(b) where no side boundary setback value is returned in (a) above, and except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:</p> <p>(i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</p> <p>(ii) side boundary walls do not:</p> <p>A. exceed 3.2m in height from the lower of the natural or finished ground level</p> <p>B. exceed 8m in length</p> <p>C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary</p> <p>D. encroach within 3m of any other existing or proposed boundary walls on the subject land.</p>
<p>PO 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character.</p>	<p>DTS/DPF 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.</p>
Side Boundary Setback	
PO 8.1	DTS/DPF 8.1

Buildings are set back from side boundaries to provide: <ul style="list-style-type: none"> (a) separation between buildings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours. 	Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary: <ul style="list-style-type: none"> (a) no less than: (b) in all other cases (i.e. there is a blank field), then: <ul style="list-style-type: none"> (i) at least 900mm where the wall is up to 3m (ii) other than for a south facing wall, at least 900mm plus 1/3 of the wall height above 3m (iii) at least 1.9m plus 1/3 of the wall height above 3m for south facing walls.
Rear Boundary Setback	
PO 9.1 Buildings are set back from rear boundaries to provide: <ul style="list-style-type: none"> (a) separation between dwellings in a way that complements the established character of the locality (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation. 	DTS/DPF 9.1 Other than in relation to an access lane way, buildings are set back from the rear boundary at least: <ul style="list-style-type: none"> (a) 4m for the first building level (b) 6m for any second building level.
Appearance	
PO 10.1 Garages and carports are designed and sited to be discrete and not dominate the appearance of the associated dwelling when viewed from the street.	DTS/DPF 10.1 Garages and carports facing a street (other than an access lane way): <ul style="list-style-type: none"> (a) are set back at least 0.5m behind the building line of the associated dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m.
PO 10.2 The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.	DTS/DPF 10.2 None are applicable.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded

under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) shade sail (o) solar photovoltaic panels (roof mounted) (p) swimming pool or spa pool (q) verandah (r) water tank. 	Except development that: <ul style="list-style-type: none"> 1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
4. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	Except development that: <ul style="list-style-type: none"> 1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or

	<ol style="list-style-type: none"> 2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or 3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ol style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).
<ol style="list-style-type: none"> 5. Any of the following (or of any combination of any of the following): <ol style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	None specified.
<ol style="list-style-type: none"> 6. Demolition. 	<p>Except any of the following:</p> <ol style="list-style-type: none"> 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
Placement of Notices - Exemptions for Performance Assessed Development	
None specified.	
Placement of Notices - Exemptions for Restricted Development	
None specified.	

Part 3 - Overlays

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome

DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development: (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i> (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Building Near Airfields Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Maintain the operational and safety requirements of certified commercial and military airfields, airports, airstrips and helicopter landing sites through management of non-residential lighting, turbulence and activities that may attract or result in the congregation of wildlife.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.3 Buildings are adequately separated from runways and other take-off and landing facilities within certified or registered aerodromes to minimise the potential for building-generated turbulence and windshear that may pose a safety hazard to aircraft flight movement.	DTS/DPF 1.3 The distance from any part of a runway centreline to the closest point of the building is not less than 35 times the building height.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Character Area Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Valued streetscape characteristics and development patterns are reinforced through contextually responsive development, design and adaptive reuse that responds to the attributes expressed in the Character Area Statement.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1 All development is undertaken having consideration to the valued attributes expressed in the Character Area Statement.	DTS/DPF 1.1 None are applicable.
Built Form	
PO 2.1 The form of new buildings and structures that are visible from the public realm are consistent with the valued streetscape characteristics of the character area.	DTS/DPF 2.1 None are applicable.
PO 2.2 Development is consistent with the prevailing building and wall heights in the character area.	DTS/DPF 2.2 None are applicable.
PO 2.3 Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) are consistent with the prevailing characteristics in the character area.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development is consistent with the prevailing front and side boundary setback pattern in the character area.	DTS/DPF 2.4 None are applicable.
PO 2.5 Materials are either consistent with or complement those within the character area.	DTS/DPF 2.5 None are applicable.
Alterations and Additions	
PO 3.1 Additions and alterations do not adversely impact on the streetscape character.	DTS/DPF 3.1 Additions and alterations: <ul style="list-style-type: none"> (a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street or (b) meet all of the following: <ul style="list-style-type: none"> (i) do not include any development forward of the front façade building line (ii) any side or rear extensions are no closer to the side boundary than the existing building (iii) do not involve the construction or alteration of a second or subsequent building level.
PO 3.2	DTS/DPF 3.2

Adaptive reuse and revitalisation of buildings to retain local character consistent with the Character Area Statement.	None are applicable.
Context and Streetscape Amenity	
PO 6.1 The width of driveways and other vehicle access ways are consistent with the prevalent width of existing driveways in the character area.	DTS/DPF 6.1 None are applicable.
PO 6.2 Development maintains the valued landscape pattern and characteristics that contribute to the character area, except where they compromise safety, create nuisance, or impact adversely on existing buildings or infrastructure.	DTS/DPF 6.2 None are applicable.

Character Area Statements

Statement#	Statement						
Character Areas affecting City of Holdfast Bay							
	<p>Glenelg East Character Area Statement (HoB-C3)</p> <p>The Character Area Overlay identifies localities that comprise valued character attributes. They can be characterised by a consistent rhythm of allotment patterns, building setting and spacing, landscape or natural features and the scale, proportion and form of buildings and their key elements.</p> <p>These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of a Character Area.</p> <p>The preparation of a Contextual Analysis can assist in determining potential additional attributes of a Character Area where these are not identified in the below table.</p> <table> <tr> <td>Eras, themes and context</td><td>1900s to 1930s.</td></tr> <tr> <td>Allotments, subdivision and built form patterns</td><td> <p>Medium to large sized allotments.</p> <p>Garden suburb street layout, centred around Da Costa Park in the area south of the tramway, and Sandison reserve north of the tramway.</p> <p>Original subdivisions of Helmsdale, Grovone and Dunleath.</p> <p>Predominantly large allotment sizes and frontages south of the tramway, larger allotment sizes and frontages north of the tramway.</p> <p>Large front setbacks.</p> <p>Small side setbacks on one side, smaller on the other.</p> </td></tr> <tr> <td>Architectural styles, detailing and built form features</td><td> <p>Federation style dwellings.</p> <p>Inter-War style dwellings including: Tudor Revival, Californian bungalow, Art Deco, Some Spanish mission.</p> <p>Some Post-War Austerity and Conventional style dwellings.</p> <p>Rectilinear plan forms.</p> </td></tr> </table>	Eras, themes and context	1900s to 1930s.	Allotments, subdivision and built form patterns	<p>Medium to large sized allotments.</p> <p>Garden suburb street layout, centred around Da Costa Park in the area south of the tramway, and Sandison reserve north of the tramway.</p> <p>Original subdivisions of Helmsdale, Grovone and Dunleath.</p> <p>Predominantly large allotment sizes and frontages south of the tramway, larger allotment sizes and frontages north of the tramway.</p> <p>Large front setbacks.</p> <p>Small side setbacks on one side, smaller on the other.</p>	Architectural styles, detailing and built form features	<p>Federation style dwellings.</p> <p>Inter-War style dwellings including: Tudor Revival, Californian bungalow, Art Deco, Some Spanish mission.</p> <p>Some Post-War Austerity and Conventional style dwellings.</p> <p>Rectilinear plan forms.</p>
Eras, themes and context	1900s to 1930s.						
Allotments, subdivision and built form patterns	<p>Medium to large sized allotments.</p> <p>Garden suburb street layout, centred around Da Costa Park in the area south of the tramway, and Sandison reserve north of the tramway.</p> <p>Original subdivisions of Helmsdale, Grovone and Dunleath.</p> <p>Predominantly large allotment sizes and frontages south of the tramway, larger allotment sizes and frontages north of the tramway.</p> <p>Large front setbacks.</p> <p>Small side setbacks on one side, smaller on the other.</p>						
Architectural styles, detailing and built form features	<p>Federation style dwellings.</p> <p>Inter-War style dwellings including: Tudor Revival, Californian bungalow, Art Deco, Some Spanish mission.</p> <p>Some Post-War Austerity and Conventional style dwellings.</p> <p>Rectilinear plan forms.</p>						

Statement#	Statement	
HoBC3		<p>High degree of modulation and articulation.</p> <p>Low scale.</p> <p>Steep roof pitches in the order of 25 to 35 degrees.</p> <p>Short roof spans.</p> <p>Hip and gable roof forms.</p> <p>Deep verandahs and porches.</p> <p>Fine-grain detail in elements such as plinths, string courses, projecting sills.</p> <p>High solid to void ratio.</p> <p>Vertical proportions in windows and doors.</p> <p>Garages, carports and outbuildings are low in scale and generally located unobtrusively to the rear of dwellings or to the side, well set back from the front facade.</p>
	Building height	Single storey.
	Materials	<p>Consistent with the materials used in the 1920s to 1930s period.</p> <p>Corrugated iron or terracotta tile roofing. Brick, sandstone, and stucco and part-rendered finishes.</p> <p>Roofing, facades and fenestration in natural red brick and terracotta colouration.</p> <p>Timber joinery including fascia, barges, window frames, door frames and doors.</p> <p>Timber strapping on Inter-War dwelling gables.</p>
	Fencing	<p>Fencing associated with the era and style of the building, and providing views to the building.</p> <p>Woven wire. Low masonry with geometric steel. Low masonry (stepped). Cyclone wire and steel or timber frame.</p> <p>Brush fencing up to 1.4m in height with either rolled or metal capping.</p>
	Setting, landscaping, streetscape and public realm features	<p>Centred around Da Costa Park historic area, and its associated built form and open space.</p> <p>Glenelg Tramway and linear reserve between Maxwell and Dunbar Terraces.</p> <p>Norfolk Island pines and other mature street trees throughout.</p>
	Representative Buildings	[Not identified]

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Hazards (Flooding – General) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from general flood risk are minimised through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 2.1 Development is sited, designed and constructed to prevent the entry of floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	DTS/DPF 2.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished ground and floor level not less than: In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: <ul style="list-style-type: none"> (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is: <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Earthworks and sloping land	
<p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
<p>PO 8.2</p> <p>Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.</p>	<p>DTS/DPF 8.2</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
<p>PO 8.3</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land. 	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>
<p>PO 8.4</p> <p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>
<p>PO 8.5</p> <p>Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>
Overlooking / Visual Privacy (low rise buildings)	
<p>PO 10.1</p> <p>Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.</p>	<p>DTS/DPF 10.1</p> <p>Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:</p> <ul style="list-style-type: none"> (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level

	(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
All residential development	
Outlook and Amenity	
PO 18.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 18.1 A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.
Residential Development - Low Rise	
External appearance	
PO 20.3 The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.	DTS/DPF 20.3 None are applicable
Private Open Space	
PO 21.1 Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.	DTS/DPF 21.1 Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.
PO 21.2 Private open space is positioned to provide convenient access from internal living areas.	DTS/DPF 21.2 Private open space is directly accessible from a habitable room.
Landscaping	
PO 22.1 Soft landscaping is incorporated into development to:	DTS/DPF 22.1 Residential development incorporates soft landscaping with a

<ul style="list-style-type: none"> (a) minimise heat absorption and reflection (b) contribute shade and shelter (c) provide for stormwater infiltration and biodiversity (d) enhance the appearance of land and streetscapes. 	<p>minimum dimension of 700mm provided in accordance with (a) and (b):</p> <p>(a) a total area as determined by the following table:</p> <table border="1" data-bbox="917 268 1516 761"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m²)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td><150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>>200-450</td><td>20%</td></tr> <tr> <td>>450</td><td>25%</td></tr> </tbody> </table> <p>(b) at least 30% of any land between the primary street boundary and the primary building line.</p>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										

Car parking, access and manoeuvrability

<p>PO 23.1</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <p>(a) single width car parking spaces:</p> <ul style="list-style-type: none"> (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m <p>(b) double width car parking spaces (side by side):</p> <ul style="list-style-type: none"> (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space.
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site (b) sites with a frontage to a public road greater than 10m:

	<ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary. (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

Waste storage	
PO 24.1 Provision is made for the convenient storage of waste bins in a location screened from public view.	DTS/DPF 24.1 Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that: (a) has a minimum area of 2m ² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		Total private open space area: (a) Site area <301m ² : 24m ² located behind the building line. (b) Site area ≥ 301m ² : 60m ² located behind the building line. Minimum directly accessible from a living room: 16m ² / with a minimum dimension 3m.
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Wastewater Services	
PO 12.2 Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 12.2 Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
PO 3.1 Overshadowing of habitable room windows of adjacent residential land uses in: a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter	DTS/DPF 3.1 North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.

sunlight.	
<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <p>i. half the existing ground level open space or</p> <p>ii. 35m² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that</p>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p>

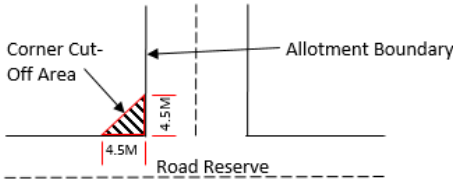
<p>may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> (a) availability of on-street car parking (b) shared use of other parking areas (c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared (d) the adaptive reuse of a State or Local Heritage Place. 	<ul style="list-style-type: none"> (a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements (b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

Class of Development	<p>Car Parking Rate (unless varied by Table 2 onwards)</p> <p>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p>
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Group Dwelling	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p>

	<p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Residential Flat Building	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Row Dwelling where vehicle access is from the primary street	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Semi-Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>

Table 2 - Off-Street Car Parking Requirements in Designated Areas

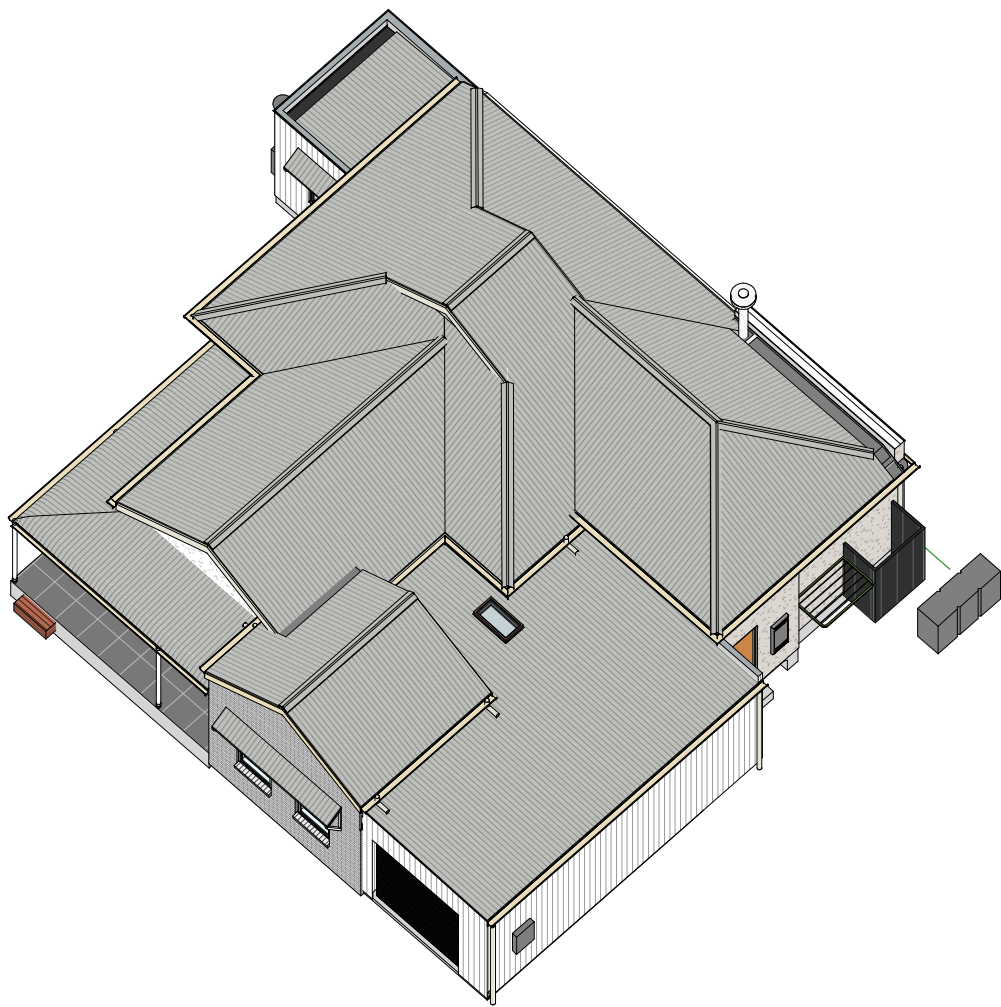
Class of Development	Car Parking Rate		Designated Areas
	Minimum number of spaces	Maximum number of spaces	
	<p>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p>		
	Development generally		

All classes of development	No minimum.	<p>No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:</p> <p>1 space for each dwelling with a total floor area less than 75 square metres</p> <p>2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres</p> <p>3 spaces for each dwelling with a total floor area greater than 150 square metres.</p> <p>Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.</p>	<p>Capital City Zone</p> <p>City Main Street Zone</p> <p>City Riverbank Zone</p> <p>Adelaide Park Lands Zone</p> <p>Business Neighbourhood Zone (within the City of Adelaide)</p> <p>The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone</p>
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Table 2 - CriteriaThe following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
<p>The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:</p> <p>(a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾</p> <p>(b) is within 400 metres of a bus interchange⁽¹⁾</p> <p>(c) is within 400 metres of an O-Bahn interchange⁽¹⁾</p> <p>(d) is within 400 metres of a passenger rail station⁽¹⁾</p> <p>(e) is within 400 metres of a passenger tram station⁽¹⁾</p> <p>(f) is within 400 metres of the Adelaide Parklands.</p>	<p>(a) All zones in the City of Adelaide</p> <p>(b) Strategic Innovation Zone in the following locations:</p> <p>(i) City of Burnside</p> <p>(ii) City of Marion</p> <p>(iii) City of Mitcham</p> <p>(c) Urban Corridor (Boulevard) Zone</p> <p>(d) Urban Corridor (Business) Zone</p> <p>(e) Urban Corridor (Living) Zone</p> <p>(f) Urban Corridor (Main Street) Zone</p> <p>(g) Urban Neighbourhood Zone</p>

[NOTE(S): (1)Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]



ROOF

CITY OF HOLDFAST BAY
AMENDED PLAN
3/05/2023



44 AUGUSTA ST GLENELG EAST

FINISHES SCHEDULE PREFIXES

B	BALUSTRADE
BEN	BENCHTOP
CAB	CABINETRY
CF	CEILING FINISH
EL	ELECTRICAL
FF	FLOOR FINISH
FR	FRAMING
GF	GENERAL FINISH
GN	GENERAL NOTE
H	HEATING
J	JOINERY
P	POOL
PL	PLUMBING
RF	ROOFING
SF	SOFT FURNISHINGS
SITE	SITEWORKS
SL	SOFFIT LINING
SS	STRUCTURE
SV	SERVICES
WDF	WINDOW FRAMING
WF	WALL FINISH
WP	WALL PLINTH/BANDING

REVISION SCHEDULE

NUMBER	DATE	DESCRIPTION
A	1/2/23	SURVEY AND NOTES ADDED
B	6/2/23	FL & CL REVISED NOTES ADDED
C	30/4/23	PLANNING CHANGE FRONT OF BEDROOM TO GABLE
D		
E		
F		
G		
H		
I		
J		
K		

ROOM SCHEDULE								
LEVEL	NAME	AREA	PERIMETER	FLOOR FINISH	CLASS	FLOOR HEATING	CEILING FINISH	BASE FINISH
GROUND FLOOR	ENSUITE	7 m²	10.3 m					
GROUND FLOOR	BIR	2 m²	8.8 m					
GROUND FLOOR	BIR	1 m²	6.0 m					
GROUND FLOOR	BED 1	15 m²	16.3 m	3.8 X 3.6				
GROUND FLOOR	BED 2	13 m²	14.7 m	3.9 X 3.3				
GROUND FLOOR	ENTRY	7 m²	11.5 m					
GROUND FLOOR	BIR	2 m²	8.9 m					
GROUND FLOOR	BED 3	9 m²	12.3 m	3.0 X 3.3				
GROUND FLOOR	BIR	2 m²	7.0 m					
GROUND FLOOR	GARAGE	20 m²	18.5 m	5.8 X 2.4				
GROUND FLOOR	BAG DROP	2 m²	5.3 m					
GROUND FLOOR	LAUN/WIP	3 m²	7.1 m					
GROUND FLOOR	LINEN	3 m²	7.8 m					
GROUND FLOOR	BATH	5 m²	9.7 m					
GROUND FLOOR	WC	1 m²	4.9 m					
GROUND FLOOR	KITCHEN	20 m²	23.0 m	4.1 X 2.5				
GROUND FLOOR	LOUNGE	10 m²	13.2 m	3.0 X 3.6				
GROUND FLOOR	DINING	15 m²	15.3 m	3.0 X 3.6				
GROUND FLOOR	VERANDAH	16 m²	22.6 m					
		153 m²	223.4 m					
		153 m²	223.4 m					

BUILDING AREAS

LEVEL	NAME	AREA
GROUND FLOOR	GARAGE	21.0
GROUND FLOOR	LIVING	110.9
GROUND FLOOR	PORCH	16.8
GROUND FLOOR	ADD	7.9
GROUND FLOOR	ADD	20.6
		177.3

CITY OF HOLDFAST BAY
AMENDED PLAN
3/05/2023

SHEET LIST

SHEET NUMBER	SHEET NAME
0	TITLE
WD01	SITE PLAN
WD02	GROUND FLOOR PLAN
WD03	EXISTING AND DEMO
WD04	ELEVATIONS
WD05	ELEVATIONS
WD06	SECTIONS
WD06A	SECTIONS
WD07	DETAILS
WD07A	BALCONY DETAILS
WD07B	DETAILS
WD08	SUBFLOOR
WD09	WALL FRAME
WD10	ROOF
WD11	WET AREAS
WD12	NOTES
WD12A	ROOF DRAINAGE
WD13	STRUCTURE
WD15	AREAS
WD17	LOWER ELECTRICAL
WD19B	BRACING
WD19C	TIEDOWNS
WD19D	FOOTINGS AND FIRE

WINDOW SCHEDULE								
LEVEL	MARK	TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	COMMENTS	ROOM
GROUND FLOOR	17	16.10AAW	1550	960	600	2150		
GROUND FLOOR	18	16.10AAW	1550	960	600	2150		
GROUND FLOOR	22	21.14AAW	2100	1410	300	2400		VERANDAH
GROUND FLOOR	24	3230W		3230	703	703		
GROUND FLOOR	25	1210		1210	703	703		
GROUND FLOOR	28	15.06AAW	1500	610	650	2150		ENSUITE
GROUND FLOOR	29	21.09AAW	2057	850	343	2400		BED 1
GROUND FLOOR	30	21.04	2100	400	0	2100		ENTRY
GROUND FLOOR	31	06.14AFW	600	1350	2400	3000		
GROUND FLOOR	32	06.14AFW	600	1350	2400	3000		
GROUND FLOOR	33	04.04	400	400	2100	2500		ENTRY
GROUND FLOOR	34	04.09	400	900	2100	2500		ENTRY
ENS CEILING	35	FCM1430	870	1460				

DOOR SCHEDULE								
LEVEL	MARK	TYPE	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	COMMENTS	ROOM
GROUND FLOOR	11	820.2040	820	2040	0	2040		VERANDAH
GROUND FLOOR	80	720	800	2400	0	2400		ENSUITE
GROUND FLOOR	81	24.12SQ0	1150	2400	0	2400		ENTRY
GROUND FLOOR	82	24.08	800	2400	0	2400		DINING
GROUND FLOOR	86	820	900	2400	0	2400		BED 2
GROUND FLOOR	87	820	900	2400	0	2400		BED 1
GROUND FLOOR	89	820	900	2400	0	2400		BED 3
GROUND FLOOR	90	720	800	2400	0	2400		BATH
GROUND FLOOR	91	720	800	2400	0	2400		WC
GROUND FLOOR	92	24.09	910	2400	-50	2350		ENTRY
GROUND FLOOR	93	24.09100FFSET	910	2400	-50	2350		
GROUND FLOOR	94	820	900	2400	-300	2100		BAG DROP
GROUND FLOOR	96	24.24 ROLLER DOOR	2410	2400	-300	2100		GARAGE
GROUND FLOOR	97	21.10	950	2100	0	2100		BAG DROP
GROUND FLOOR	99	2400 x 2250	2477	2700	0	2700		BIR
GROUND FLOOR	100	ROBE	3847	2700	0	2700		BED 1
GROUND FLOOR	101	ROBE	3902	2700	0	2700		BED 2
GROUND FLOOR	102	ROBE	2960	2700	0	2700		BED 3
GROUND FLOOR	103	720	800	2400	0	2400		LAUN/WIP
GROUND FLOOR	109	24.1125	1125	2400	0	2400		BAG DROP



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mob 0400 251 245

REVISIONS

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NAME

44 AUGUSTA ST
GLENELG EAST

SCALE
(A3)
DRAWING
TITLE

ISSUE:
PLANNING

PROJECT NUMBER
22125

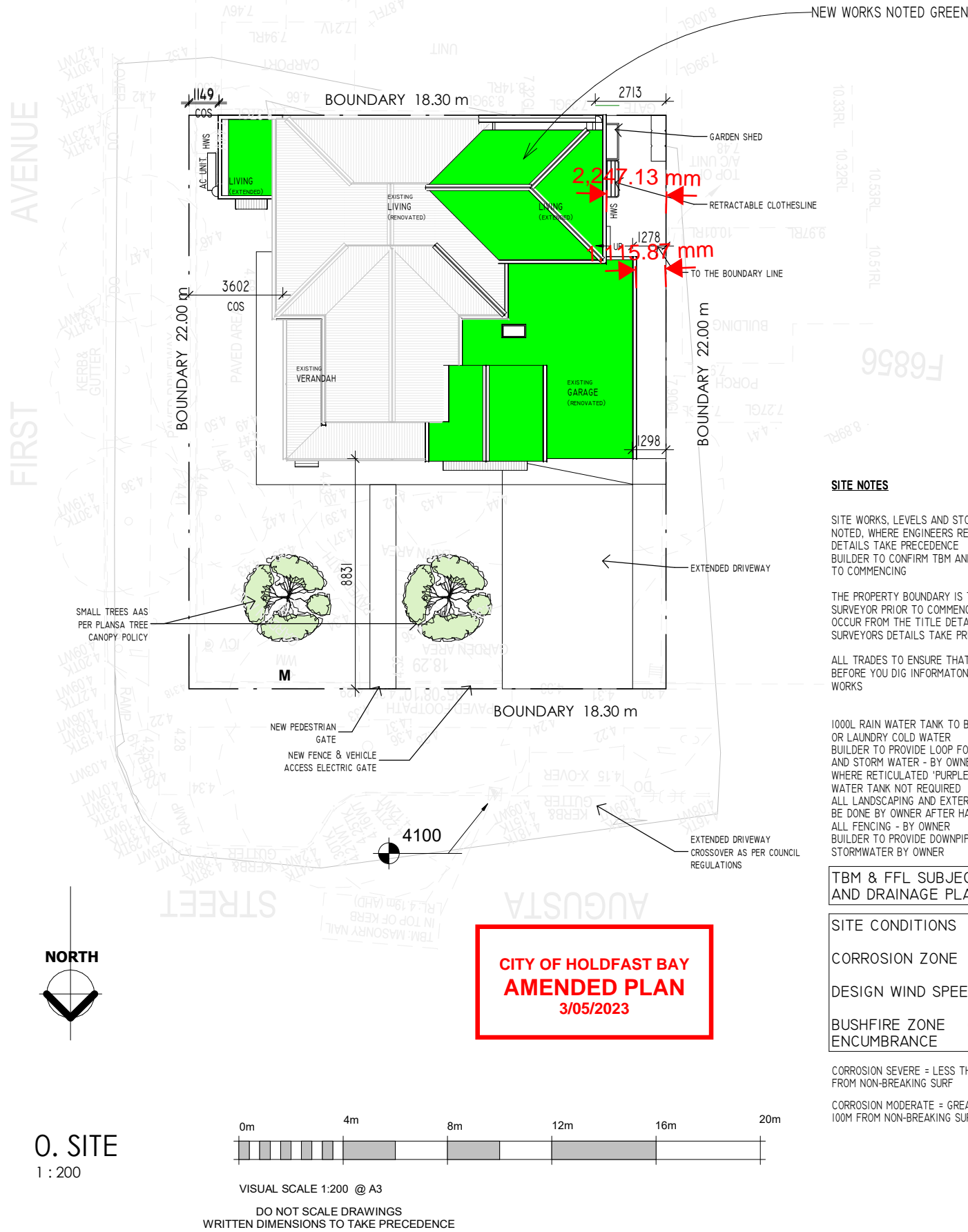
DATE
26/4/23

NO
0

DO NOT SCALE
DRAWINGS

BUILDER TO VERIFY ALL WORK
INCLUDING DIMENSIONS AND
LEVELS
BEFORE BUILDING COMMENCES

Attachment 1.2



- BASEMENT
- LOWER FLOOR
- UPPER FLOOR
- POOL
- LANDSCAPING - BY OWNER
- GRASS - BY OWNER
- PAVING - BY OWNER

SITE NOTES

SITE WORKS, LEVELS AND STORM WATER DRAINAGE AS NOTED, WHERE ENGINEERS REPORT AVAILABLE, ENGINEERS DETAILS TAKE PRECEDENCE
BUILDER TO CONFIRM TBM AND FINISHED FLOOR LEVELS PRIOR TO COMMENCING

THE PROPERTY BOUNDARY IS TO BE PEGGED BY A LICENSED SURVEYOR PRIOR TO COMMENCING. IF ANY DISCREPANCIES OCCUR FROM THE TITLE DETAILS, NOTIFY THIS OFFICE. SURVEYORS DETAILS TAKE PRECEDENCE

ALL TRADES TO ENSURE THAT THEY HAVE THE CURRENT DIAL BEFORE YOU DIG INFORMATION PRIOR TO COMMENCING SITE WORKS

1000L RAIN WATER TANK TO BE CONNECTED TO NEAREST WC OR LAUNDRY COLD WATER
BUILDER TO PROVIDE LOOP FOR OWNER TO CONNECT - TANK AND STORM WATER - BY OWNER
WHERE RETICULATED 'PURPLE' WATER IS AVAILABLE RAIN WATER TANK NOT REQUIRED
ALL LANDSCAPING AND EXTERNAL WORKS INDICATIVE AND TO BE DONE BY OWNER AFTER HAND OVER
ALL FENCING - BY OWNER
BUILDER TO PROVIDE DOWNPIPES TO REBATE LEVEL - STORMWATER BY OWNER

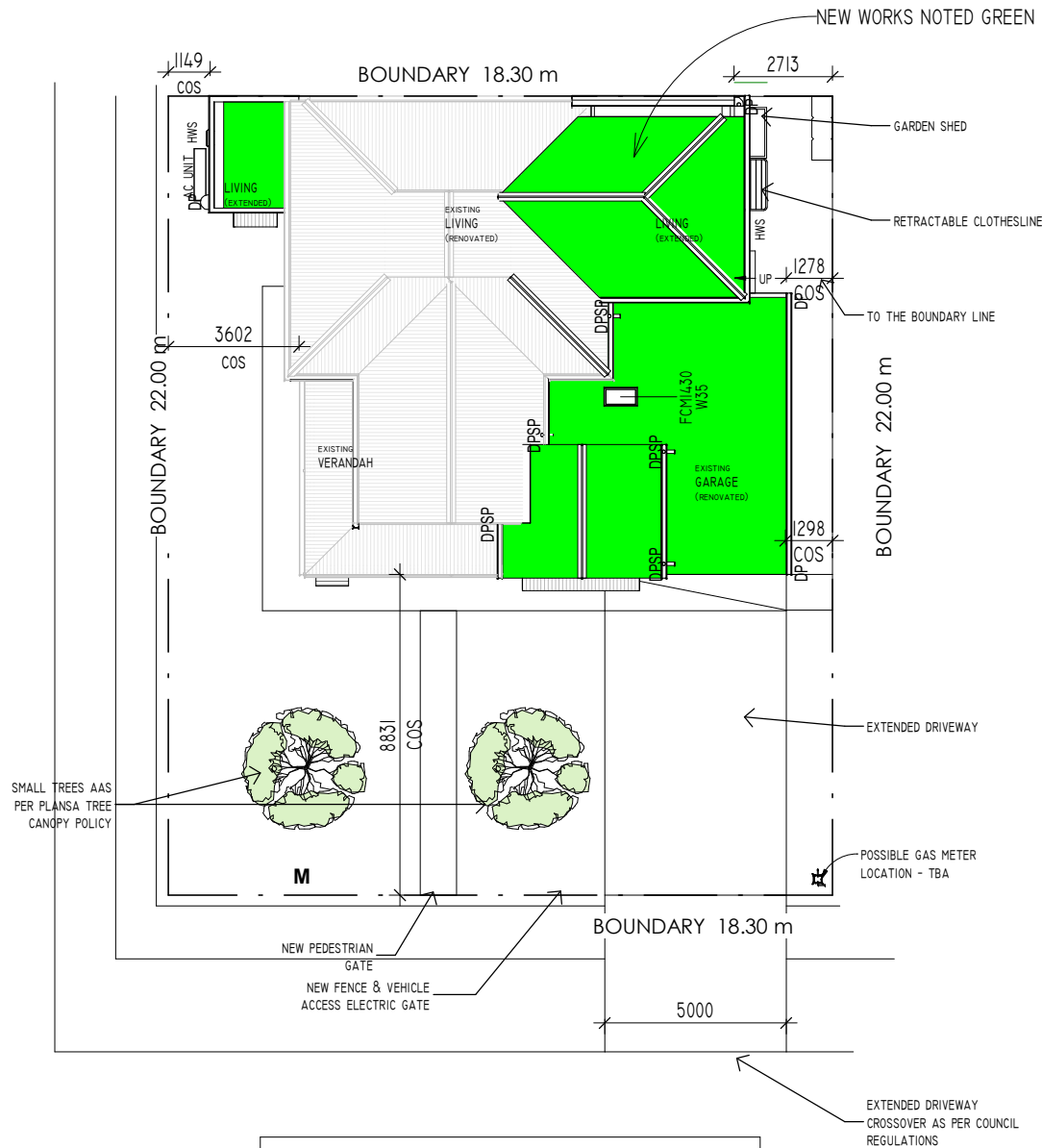
TBM & FFL SUBJECT TO ENGINEERS SITE AND DRAINAGE PLAN

SITE CONDITIONS

CORROSION ZONE NA
DESIGN WIND SPEED NI
BUSHFIRE ZONE (BAL) N/A
ENCUMBRANCE NO

CORROSION SEVERE = LESS THAN 1KM FROM BREAKING SURF, OR 100M FROM NON-BREAKING SURF

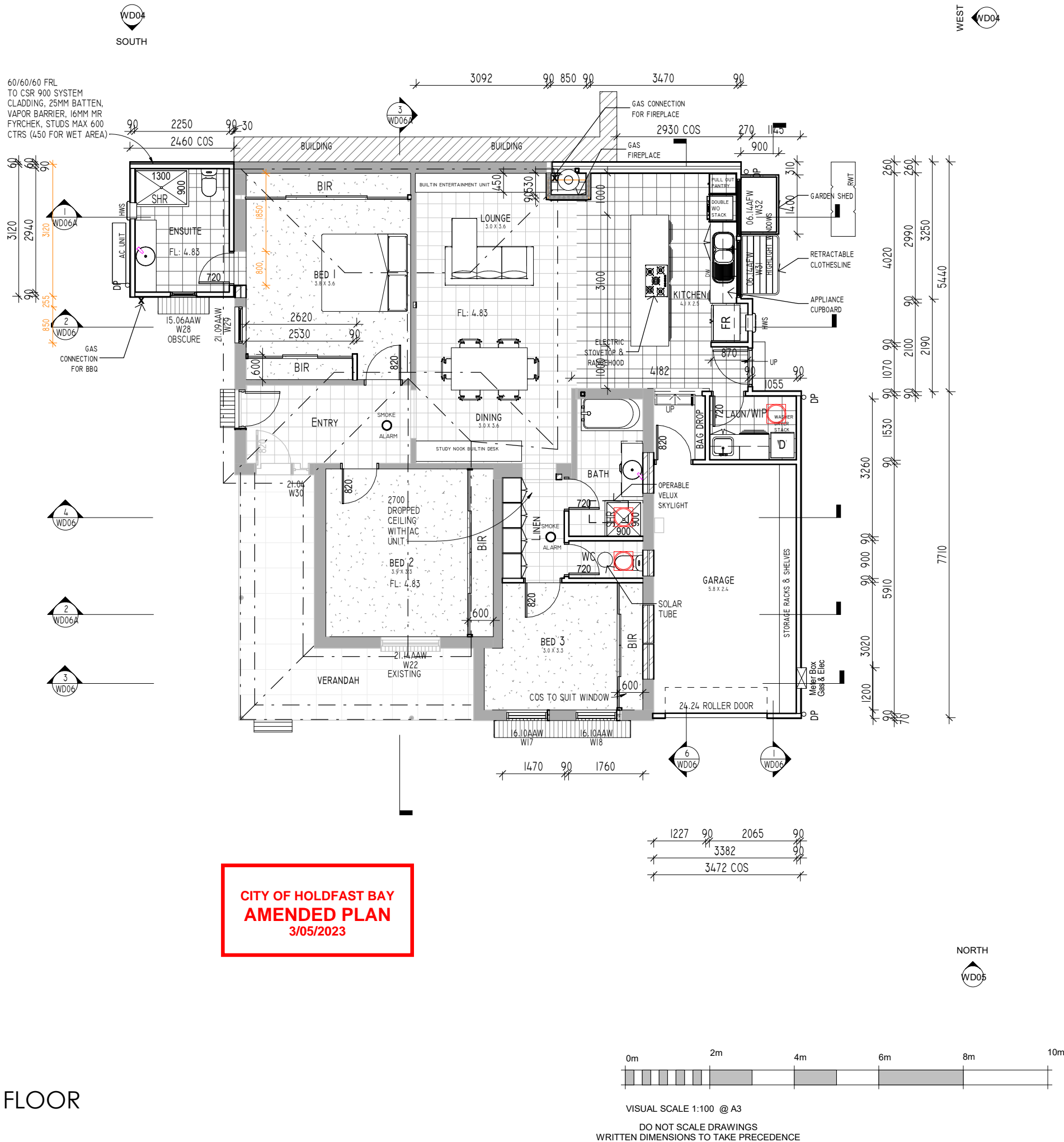
CORROSION MODERATE = GREATER THAN 1KM FROM BREAKING SURF OR 100M FROM NON-BREAKING SURF



SITE COVER		
NAME	AREA	COVER
GARAGE	21.0	5%
LIVING	110.9	28%
PORCH	16.8	4%
ADD	7.9	2%
ADD	20.6	5%
	177.3	44%
PAVING	94.9	24%
LANDSCAPING	88.4	22%
LANDSCAPING	32.0	8%
LANDSCAPING	10.0	2%
	225.3	56%
	402.6	100%

0. SITE Copy 1
1 : 200

Attachment 1.3



FLOOR PLAN NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC AND RELEVANT AUSTRALIAN STANDARDS AT THE DATE OF DEVELOPMENT APPROVAL.

ALL BRICK PIERS TO BE REINFORCED WITH 1/16 ROD CENTRALLY AND CONCRETE FILLED, OR TO ENGINEERS DETAILS WHERE PROVIDED.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF DIMENSIONS ARE UNCLEAR, CONTACT THIS OFFICE FOR CLARIFICATION.

ALL TRADES TO CHECK ALL INFORMATION PRIOR TO COMMENCING OR ORDERING MATERIALS. TRADES ARE RESPONSIBLE FOR THE BUILDABILITY OF THEIR AREA OF EXPERTISE AND TO PROVIDE ALL PRODUCTS NECESSARY FOR THE FINAL FINISHED CONSTRUCTION.

DIMENSIONS WITH ARROW HEADS GENERALLY FINISHES DIMENSIONS. DIMENSIONS WITH DIAGONAL TICK MARK TO STRUCTURAL MATERIALS WHERE UNCLEAR - CONTACT THIS OFFICE.

THE DESIGNER DOES NOT TAKE THE RESPONSIBILITY OF THE BUILDER. IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE ALL INFORMATION IS CORRECT PRIOR TO CONSTRUCTION AND ENGAGEMENT OF SUPPLIERS. THE BUILDER IS TO ENSURE THAT ALL ASPECTS OF THE BUILDING ARE BUILDABLE AND TO PROVIDE ALL NECESSARY FITTINGS, FIXTURES AND MATERIALS TO ENSURE THAT THE BUILDING IS COMPLETE.

WHERE PRODUCTS ARE TO BE INSTALLED TO MANUFACTURERS SPECIFICATION, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THOSE DETAILS ARE FOLLOWED. WHERE AN AUSTRALIAN STANDARD OR REQUIREMENT OF THE APPROPRIATE LEGISLATION IS TO BE FOLLOWED, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THE CORRECT INSTALLATION AND PROCEDURES ARE FOLLOWED.

DOWNPipes TO BE PROVIDED AT MAXIMUM 12M SPACING AND ADJACENT TO VALLEY GUTTERS. ALL BOX GUTTERS TO HAVE MINIMUM 90MM DOWNPIPES. ALL BOX GUTTERS TO HAVE OVERFLOW DEVICES. ALL FASCIA GUTTERS TO PROVIDE OVERFLOWS AS PER THE DETAILS ON THE GUTTERS AND OVERFLOWS NOTES. WHERE POSSIBLE USE STRATCO DIMPLED STEEL FASCIA BEHIND GUTTERS.

BUILDER TO CHECK ALL WINDOW AND DOOR SIZES. ALL HEADS TO ALIGN (EXCEPT WHERE SPECIFICALLY SHOWN AS BENCH HEIGHT WINDOWS OR HIGH/LOW LEVEL WINDOWS) CHECK WINDOW/DOOR SCHEDULE - ADJUSTMENTS PERMITTED TO MATCH BRICK COURSE AS NECESSARY.

WINDOWS TO COMPLY WITH AS 2047, AND GLASS TO COMPLY WITH AS 1288.

TERMITE TREATMENT TO AS 3660.

ENCLOSED WC AREAS TO BE PROVIDED WITH ESCAPE HINGES TO THE DOOR, OR THE DOOR SHALL SLIDE OR SWING OUT OF THE ENCLOSURE.

ENERGY NOTES

BUILDING FABRIC

R2.5 INSULATION TO EXTERNAL WALL CAVITIES
R4.0 INSULATION TO CEILING CAVITIES
R2.0 INSULATION TO INTERNAL WALLS
R1.0 INSULATION TO PERIMETER OF FLOOR SLAB IF IN SLAB
HEATING/COOLING IS INSTALLED
EXTERNAL GLAZING TO COMPLY WITH THE GLAZING CALCULATOR AS PROVIDED BY ABCB OR

HEATING AND COOLING LOADS

TO REACH A 6 STAR ENERGY EFFICIENCY EQUIVALENCE OR BETTER (USE LESS THAN 96MJ/M2 OF POWER SOURCED FROM OFF SITE NON-RENEWABLE POWER GENERATION).

PV SYSTEM BY OWNER.

SERVICES

PROVIDE LOOP FOR CONNECTION OF RAIN WATER TO WC
LIGHT FITTINGS TO BE ENERGY EFFICIENT,
MAX 5W/M2 TO LIVING AREAS - SEE ELECTRICAL LAYOUTS FOR CALCULATIONS
TAPS AND SANITARY FIXTURES WELS 4 STAR OR BETTER
SHOWER ROSES 3 STAR OR BETTER
USE HIGH EFFICIENCY GAS HOT WATER SERVICE - MIN 5 STAR RATING

* THIS HOUSE HAS BEEN DESIGNED FOR STANDARD LOADS
IE. NO A/C - TANKS ON ROOF, NO SOLAR PANELS, NO WATER BEDS ON LIGHTWEIGHT FLOORING, ETC.

INTERLINKED HARD WIRED SMOKE ALARMS

DUCTED EXHAUST FAN



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DO NOT SCALE DRAWINGS

BUILDER TO VERIFY ALL WORK INCLUDING DIMENSIONS AND LEVELS BEFORE BUILDING COMMENCES

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REVISIONS

REV C
30/4/23

NAME

DWELLING ADDITIONS

44 AUGUSTA ST
GLENELG EAST

PROJECT NUMBER
22125

DATE
26/4/23

SCALE
1 : 100 (A3)

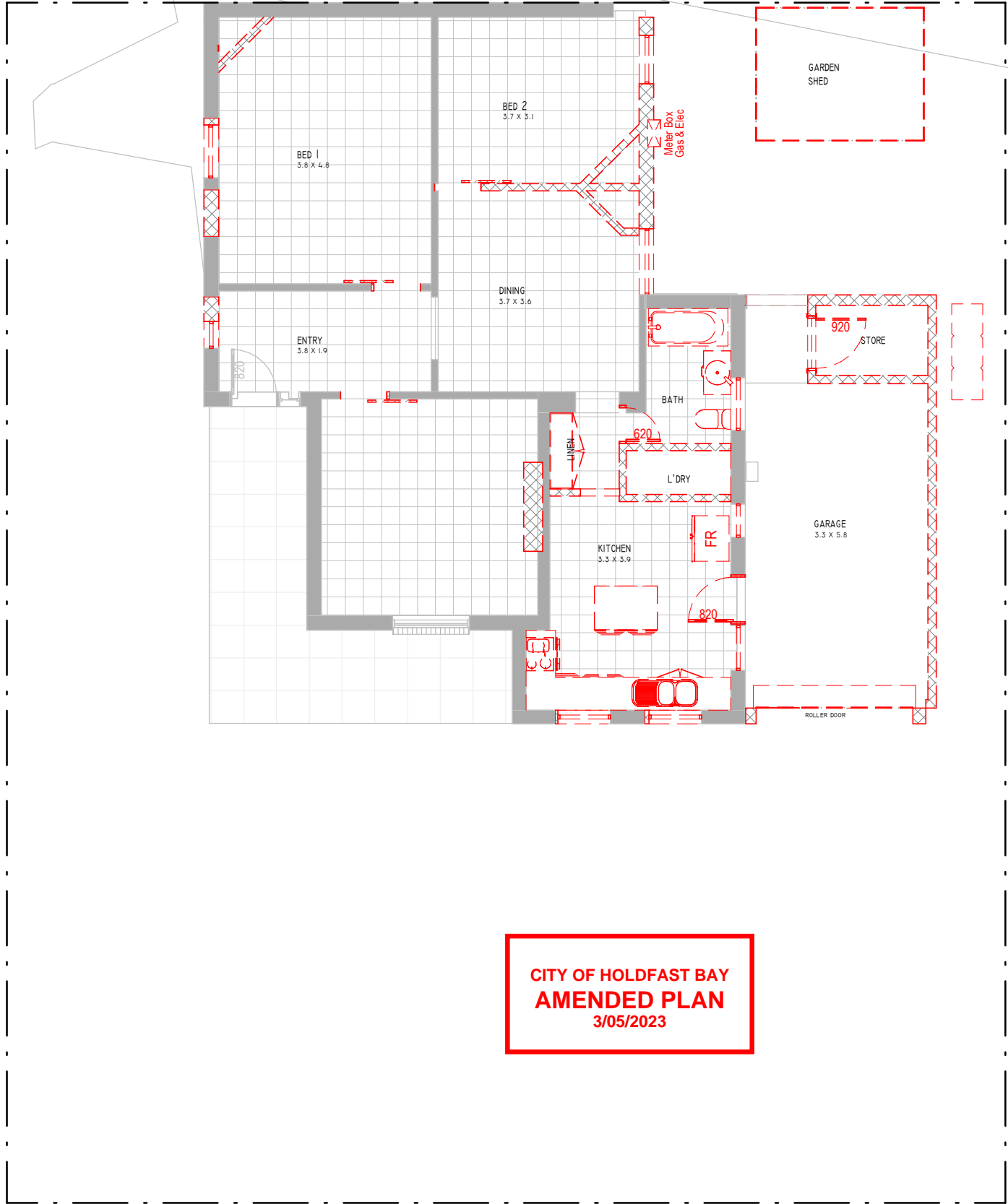
DRAWING
GROUND FLOOR PLAN

ISSUE:
PLANNING

NO
WD02



Attachment 1.4



DEMOLITION NOTES

ALL DEMOLITION SHALL BE CARRIED OUT BY APPROPRIATELY LICENSED CONTRACTORS
CHECK ALL MATERIALS PRIOR TO DEMOLITION. WHERE ASBESTOS OR OTHER DANGEROUS MATERIALS ARE IDENTIFIED, REMOVE BY APPROPRIATELY QUALIFIED CONTRACTOR AND DISPOSE OF TO APPROPRIATELY LICENSED WASTE DISPOSAL SITE

CHECK ALL SERVICES PRIOR TO COMMENCEMENT. ENSURE ALL POWER, GAS AND WATER IS APPROPRIATELY DISCONNECTED PRIOR TO COMMENCEMENT

THE CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREET SERVICES, SURFACES AND INFRASTRUCTURE

DUST SHALL BE SUPPRESSED AS NECESSARY USING WATER SPRAYS

ANY WASTE, MUD, DIRT DEPOSITED ON THE ROAD OR PUBLIC SPACE SHALL BE SWEEPED UP IMMEDIATELY

RUBBER TYRES ONLY SHALL BE USED ON PUBLIC INFRASTRUCTURE AREAS. WHERE METAL TRACKS ARE USED, PROVIDE RUBBER TYRE PROTECTION AS THE VEHICLE CROSSES THE INFRASTRUCTURE

PROVIDE SAFETY FENCING AND SIGNAGE AS APPROPRIATE

ALL WASTE TO BE DISPOSED OF TO REGISTERED WASTE RECYCLING FACILITY



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PROJECT NUMBER
22125

DATE
26/4/23

SCALE
1 : 100 (A3)

DRAWING
EXISTING AND DEMO

ISSUE:
PLANNING

NO
WD03



DEMOLITION GROUND
1 : 100

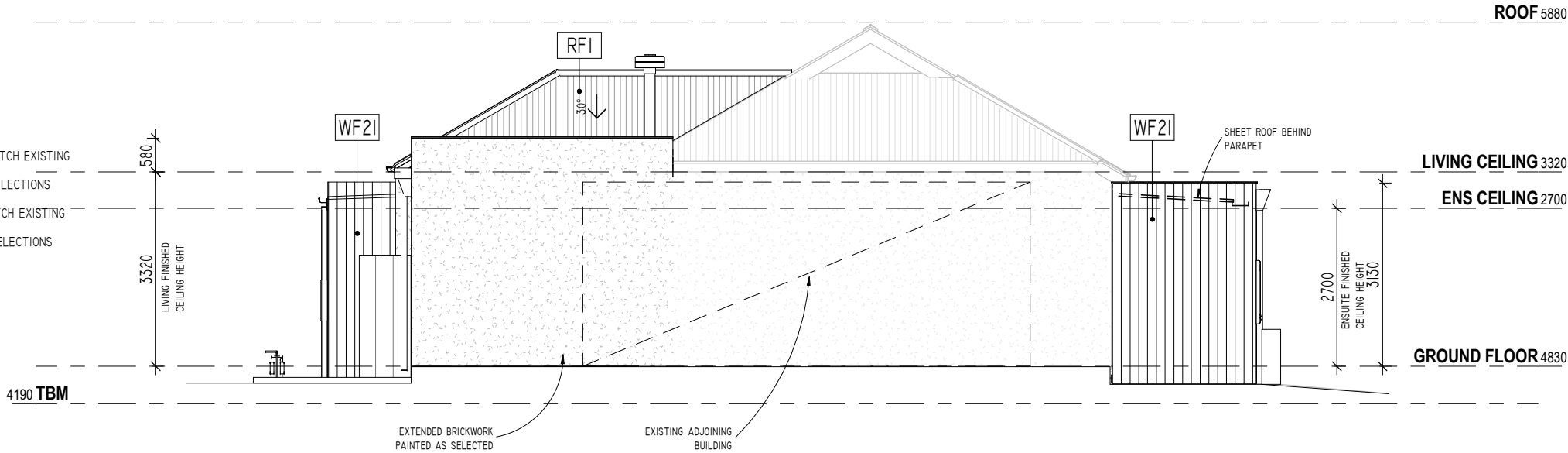
Attachment 1.5

KEYNOTES

CODE	DESCRIPTION
RF1	COLORBOND CUSTOM ORB
SV1	METER BOXES
SV2	HOT WATER SERVICE
WF8	TEXTURED FIBRE CEMENT SHEET
WF21	VERTICAL WALL CLADDING

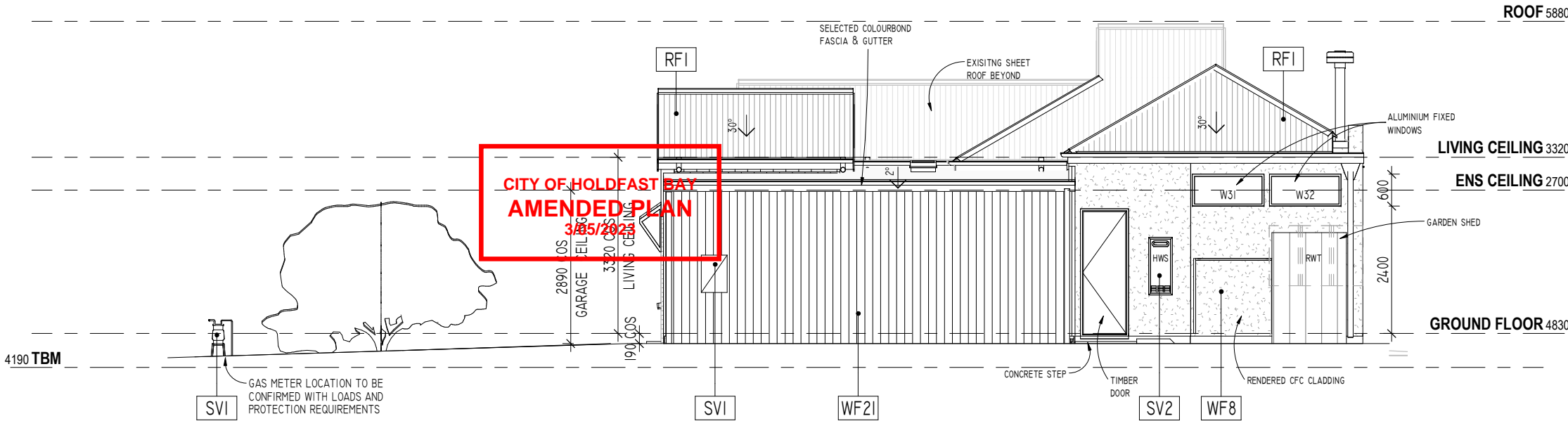
FINISHES SCHEDULE

COLORBOND ROOF - TO MATCH EXISTING
COLORBOND FASCIAS AND GUTTERS - TO MATCH EXISTING
ROLLER DOOR - SURFMIST
ENTRANCE DOOR - FEATURE TIMBER - TO SELECTIONS
WINDOWS - ALUMINIUM - WHITE
FACE BRICK - BAGGED AND PAINTED TO MATCH EXISTING
RENDER - PAINTED TO MATCH EXISTING
FEATURE CLADDING - AXON - PAINTED TO SELECTIONS



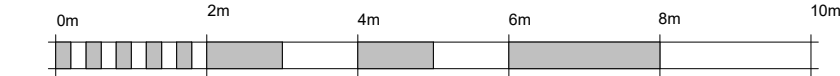
SOUTH ELEVATION

1 : 100



WEST ELEVATION

1 : 100



VISUAL SCALE 1:100 @ A3
DO NOT SCALE DRAWINGS
WRITTEN DIMENSIONS TO TAKE PRECEDENCE

DO NOT SCALE
DRAWINGS

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PROJECT NUMBER
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DATE
26/4/23

SCALE
1 : 100 (A3)

DRAWING
ELEVATIONS

ISSUE:
PLANNING

NO
WD04

Attachment 1.6

KEYNOTES

CODE	DESCRIPTION
RF1	COLORBOND CUSTOM ORB
RF7	TIMBER FASCIA
WF2	FACE BRICK
WF2I	VERTICAL WALL CLADDING



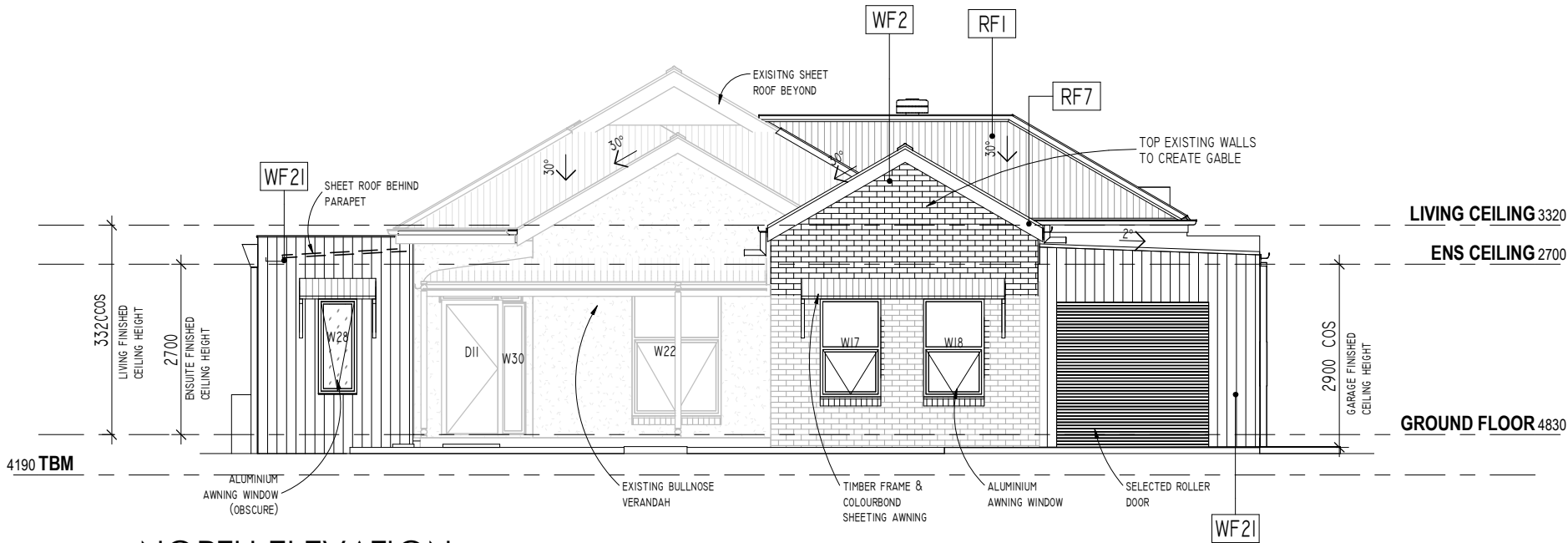
**BURGESS
DESIGN**
BUILDING DESIGNERS

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DO NOT SCALE
DRAWINGS

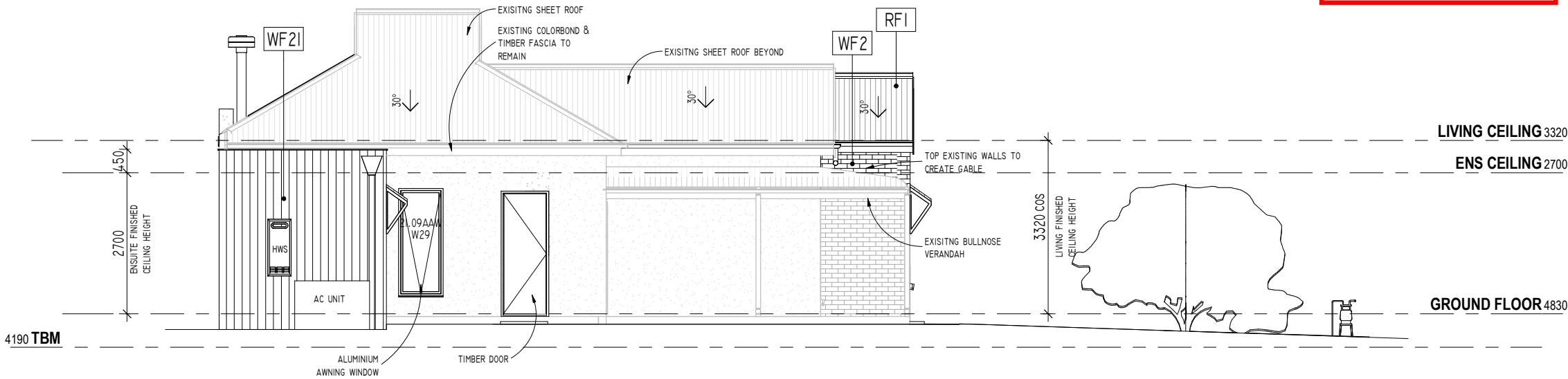
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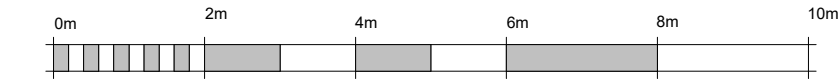


NORTH ELEVATION
1 : 100

CITY OF HOLDFAST BAY
AMENDED PLAN
3/05/2023



EAST ELEVATION
1 : 100



VISUAL SCALE 1:100 @ A3
DO NOT SCALE DRAWINGS
WRITTEN DIMENSIONS TO TAKE PRECEDENCE

REVISIONS

REV C
30/4/23

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GLENELG EAST

PROJECT NUMBER
22125

DATE
26/4/23

SCALE
1 : 100 (A3)

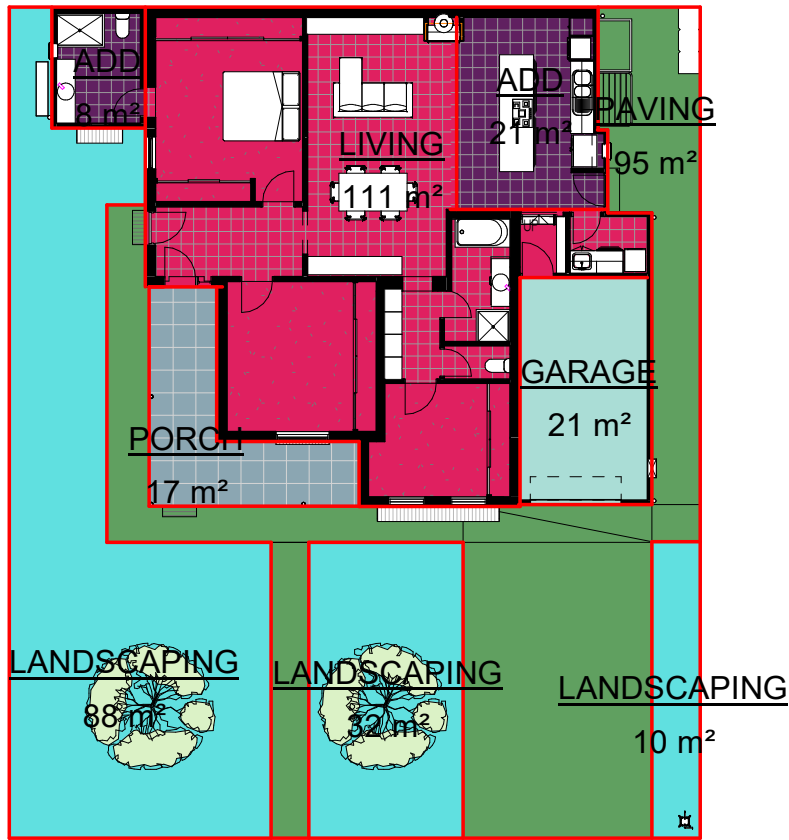
DRAWING
ELEVATIONS

ISSUE:
PLANNING

NO
WD05



BTF
CONSTRUCTIONS



GROUND FLOOR

1 : 200

CITY OF HOLDFAST BAY
AMENDED PLAN
3/05/2023

SITE COVER		
NAME	AREA	COVER
GARAGE	21.0	5%
LIVING	110.9	28%
PORCH	16.8	4%
ADD	7.9	2%
ADD	20.6	5%
	177.3	44%
PAVING	94.9	24%
LANDSCAPING	88.4	22%
LANDSCAPING	32.0	8%
LANDSCAPING	10.0	2%
	225.3	56%
	402.6	100%

ROOM SCHEDULE								
LEVEL	NAME	AREA	PERIMETER	FLOOR FINISH	CLASS	FLOOR HEATING	CEILING FINISH	BASE FINISH
GROUND FLOOR	ENSUITE	7 M ²	10.3 M					
GROUND FLOOR	BIR	2 M ²	8.8 M					
GROUND FLOOR	BIR	1 M ²	6.0 M					
GROUND FLOOR	BED 1	15 M ²	16.3 M	3.8 X 3.6				
GROUND FLOOR	BED 2	13 M ²	14.7 M	3.9 X 3.3				
GROUND FLOOR	ENTRY	7 M ²	11.5 M					
GROUND FLOOR	BIR	2 M ²	8.9 M					
GROUND FLOOR	BED 3	9 M ²	12.3 M	3.0 X 3.3				
GROUND FLOOR	BIR	2 M ²	7.0 M					
GROUND FLOOR	GARAGE	20 M ²	18.5 M	5.8 X 2.4				
GROUND FLOOR	BAG DROP	2 M ²	5.3 M					
GROUND FLOOR	LAUN/WIP	3 M ²	7.1 M					
GROUND FLOOR	LINEN	3 M ²	7.8 M					
GROUND FLOOR	BATH	5 M ²	9.7 M					
GROUND FLOOR	WC	1 M ²	4.9 M					
GROUND FLOOR	KITCHEN	20 M ²	23.0 M	4.1 X 2.5				
GROUND FLOOR	LOUNGE	10 M ²	13.2 M	3.0 X 3.6				
GROUND FLOOR	DINING	15 M ²	15.3 M	3.0 X 3.6				
GROUND FLOOR	VERANDAH	16 M ²	22.6 M					
		153 M ²	223.4 M					
		153 M ²	223.4 M					

DO NOT SCALE
DRAWINGS

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SCALE
1 : 200 (A3)

DRAWING
AREAS

ISSUE:
PLANNING

NO
WD15