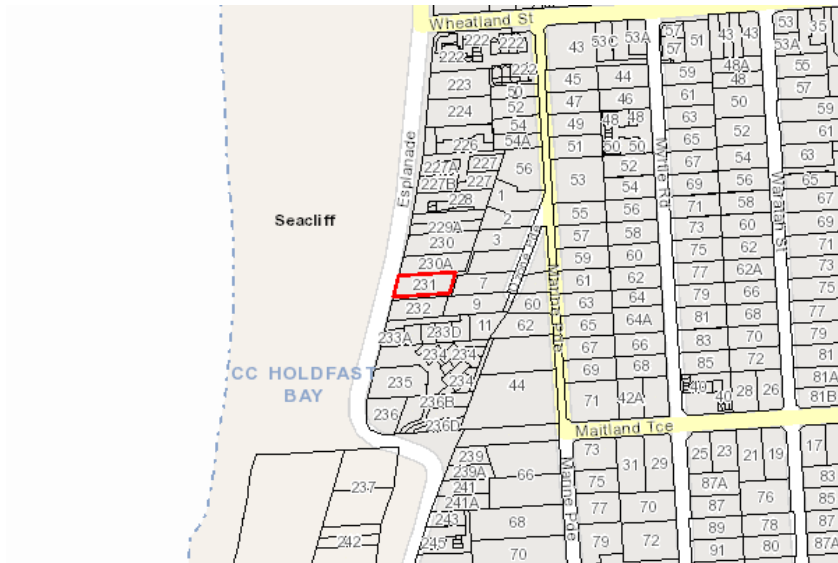


**231 ESPLANADE SEACLIFF SA 5049****Address:**Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below

**Property Zoning Details****Zone**

Waterfront Neighbourhood

**Overlay**Airport Building Heights (Regulated) (*All structures over 45 metres*)

Affordable Housing

Coastal Flooding

Hazards (Flooding - General)

Prescribed Wells Area

Regulated and Significant Tree

Stormwater Management

Urban Tree Canopy

**Local  
Variation  
(TNV)**Finished Ground and Floor Levels (*Minimum finished ground level is 3m AHD; Minimum finished floor level is 3.25m AHD*)

Zone

Zone

Waterfront Neighbourhood

Overlay

Zone

Waterfront Neighbourhood

Overlay

Airport Building Heights (Regulated) *(All structures over 45 metres)*

Affordable Housing

Coastal Flooding

Hazards (Flooding - General)

Prescribed Wells Area

Regulated and Significant Tree

Stormwater Management

Urban Tree Canopy

Local  
Variation  
(TNV)Maximum Building Height (Metres) *(Maximum building height is 12m)*Minimum Frontage *(Minimum frontage for a detached dwelling is 5m; semi-detached dwelling is 5m; row dwelling is 5m; group dwelling is 5m; residential flat building is 5m)*Minimum Site Area *(Minimum site area for a detached dwelling is 300 sqm; semi-detached dwelling is 250 sqm; row dwelling is 200 sqm; group dwelling is 200 sqm; residential flat building is 200 sqm)*Maximum Building Height (Levels) *(Maximum building height is 3 levels)*

## Selected Development(s)

Detached dwelling

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

## Detached dwelling - Code Assessed - Deemed to Satisfy

### Part 2 - Zones and Sub Zones

#### Waterfront Neighbourhood Zone

#### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy			
Site Dimensions and Land Division			
DTS/DPF 2.1			
Development will not result in more than 1 dwelling on an existing allotment			
or			
Allotments/sites for residential purposes accord with the following:			
(a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group dwellings or dwellings within a residential flat building):			
<table><tr><th>Minimum Site Area</th></tr><tr><td>Minimum site area for a detached dwelling is 300 sqm; semi-detached dwelling is 250 sqm; row dwelling is 200 sqm; group dwelling is 200 sqm; residential flat building is 200 sqm</td></tr></table>		Minimum Site Area	Minimum site area for a detached dwelling is 300 sqm; semi-detached dwelling is 250 sqm; row dwelling is 200 sqm; group dwelling is 200 sqm; residential flat building is 200 sqm
Minimum Site Area			
Minimum site area for a detached dwelling is 300 sqm; semi-detached dwelling is 250 sqm; row dwelling is 200 sqm; group dwelling is 200 sqm; residential flat building is 200 sqm			
(b) site frontages (or allotment frontages in the case of land division) are not less than:			
<table><tr><th>Minimum Frontage</th></tr><tr><td>Minimum frontage for a detached dwelling is 5m; semi-detached dwelling is 5m; row dwelling is 5m; group dwelling is 5m; residential flat building is 5m</td></tr></table>		Minimum Frontage	Minimum frontage for a detached dwelling is 5m; semi-detached dwelling is 5m; row dwelling is 5m; group dwelling is 5m; residential flat building is 5m
Minimum Frontage			
Minimum frontage for a detached dwelling is 5m; semi-detached dwelling is 5m; row dwelling is 5m; group dwelling is 5m; residential flat building is 5m			
In relation to DTS/DPF 2.1, in instances where:			
(c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation layer</i> or <i>Minimum Site Area Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development			
(d) no value is returned in (a) or (b) (i.e. there is a blank field or relevant dwelling type is not listed), then none are applicable and the relevant development cannot be classified as deemed-to-satisfy.			
DTS/DPF 2.2			
Where the site of a dwelling does not comprise an entire allotment:			
(a) The balance of the allotment accords with site area and frontage requirements specified in DTS/DPF 2.1			
(b) If there is an existing dwelling on the allotment that will remain on the allotment after completion of the development, it will not contravene:			
(i) Private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space			
(ii) Car parking requirements specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.			

## Site Coverage

DTS/DPF 3.1

The development does not result in site coverage exceeding:

- (a) on sites 300m<sup>2</sup> or less and with a dual frontage to the waterfront and a public street, 80%.
- (b) in all other cases, 60%.

## Building Height

DTS/DPF 4.1

Building height (excluding garages, carports and outbuildings) is no greater than:

- (a) the following:

Maximum Building Height (Metres)
Maximum building height is 12m
Maximum Building Height (Levels)
Maximum building height is 3 levels

- (b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m.

In relation to DTS/DPF 4.1, in instances where:

- (c) more than one value is returned in the same field, refer to the *Maximum Building Height (Levels) Technical and Numeric Variation layer and Maximum Building Height (Metres) Technical and Numeric Variation* layer in the SA planning database to determine the applicable value relevant to the site of the proposed development
- (d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.

## Primary Street Setback

DTS/DPF 5.1

Other than development on allotments/sites with dual frontage to both a waterfront and a public road, the building line of buildings set back from the primary street boundary:

- (a) at least the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment)
- (b) where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), not less than the setback to the building line of that building  
or
- (c) not less than 5m where no building exists on an adjoining site with the same primary street frontage.

## Secondary Street Setback

DTS/DPF 6.1

Building walls are set back from the boundary of the allotment with a secondary street frontage at least:

- (a) at least 900mm  
or
- (b) if a dwelling on any adjoining allotment is closer to the secondary street than 900mm, at least the distance of that dwelling from the boundary with the secondary street

whichever is less.

## Boundary Walls

## DTS/DPF 7.1

Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b):

- (a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same, or lesser length and height
- (b) side boundary walls do not:
  - (i) exceed 3m in height from the top of footings
  - (ii) exceed 11.5m in length
  - (iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary
  - (iv) encroach within 3 metres of any other existing or proposed boundary walls on the subject land.

## DTS/DPF 7.2

Dwelling walls in a semi-detached, row or terrace arrangement are setback at least 900mm from side boundaries shared with allotments outside the development site.

## Side boundary setback

## DTS/DPF 8.1

Other than walls located on a side boundary, building walls are set back from side boundaries:

- (a) at least 900mm where the wall height is up to 3m
- (b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m and
- (c) at least 1900mm plus 1/3 of the wall height above 3m for walls facing a southern side boundary.

## Rear boundary setback

## DTS/DPF 9.1

Dwelling walls are set back from the rear boundary at least:

- (a) where the rear boundary fronts a waterfront, no less than the average rear setback of any existing dwellings on adjoining allotments.
- (b) where the rear boundary adjoins a laneway - 0m
- (c) In all other cases:
  - (i) if the size of the site is less than 301 square metres—
    - A. 3m in relation to the ground floor of the dwelling
    - B. 5m in relation to any other building level of the dwelling
  - (ii) if the size of the site is 301 square metres or more—
    - A. 4m in relation to the ground floor of the dwelling
    - B. 6m in relation to any other building level of the dwelling.

## Built form and character

## DTS/DPF 11.1

Development is not located on a site/allotment with frontage to a waterfront.

## Part 3 - Overlays

## Affordable Housing Overlay

### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
	Land Division
DTS/DPF 1.1	
Development results in 0-19 additional allotments / dwellings.	

## Airport Building Heights (Regulated) Overlay

### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
	Built Form
DTS/DPF 1.1	
Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas.	
In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.	

## Coastal Flooding Overlay

### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy			
DTS/DPF 1.1			
Development incorporates finished ground and floor levels not less than:			
<table><tr><th>Finished Ground and Floor Levels</th></tr><tr><td>Minimum finished ground level is 3m AHD; Minimum finished floor level is 3.25m AHD</td></tr></table>		Finished Ground and Floor Levels	Minimum finished ground level is 3m AHD; Minimum finished floor level is 3.25m AHD
Finished Ground and Floor Levels			
Minimum finished ground level is 3m AHD; Minimum finished floor level is 3.25m AHD			
In instances where no value is specified (i.e. there is a blank field):			
(a)	finished ground levels allow for sea level rise by being raised 300mm or more above the standard sea flood risk level		
(b)	finished floor levels are 550mm or more above the standard sea flood risk level		

- (c) practical measures can be implemented to provide future protection against an additional sea level rise of 700mm plus an allowance to accommodate 100 years of land subsidence.

## Hazards (Flooding – General) Overlay

### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy			
Flood Resilience			
DTS/DPF 2.1			
Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished ground and floor level not less than:			
<table><tr><th>Finished Ground and Floor Levels</th></tr><tr><td>Minimum finished ground level is 3m AHD; Minimum finished floor level is 3.25m AHD</td></tr></table>		Finished Ground and Floor Levels	Minimum finished ground level is 3m AHD; Minimum finished floor level is 3.25m AHD
Finished Ground and Floor Levels			
Minimum finished ground level is 3m AHD; Minimum finished floor level is 3.25m AHD			
In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.			

## Stormwater Management Overlay

### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
DTS/DPF 1.1	
Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:	
<p>(a) includes rainwater tank storage:</p> <ul style="list-style-type: none"> <li>(i) connected to at least: <ul style="list-style-type: none"> <li>A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area</li> <li>B. in all other cases, 80% of the roof area</li> </ul> </li> <li>(ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m<sup>2</sup></li> <li>(iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m<sup>2</sup> or greater</li> <li>(iv) with a minimum total capacity in accordance with Table 1</li> <li>(v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank</li> </ul> <p>(b) incorporates dwelling roof area comprising at least 80% of the site's impervious area</p>	

Table 1: Rainwater Tank

Site size (m <sup>2</sup> )	Minimum retention volume (Litres)	Minimum detention volume (Litres)
<200	1000	1000
200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A
>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A

## Urban Tree Canopy Overlay

### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

## Deemed to Satisfy

DTS/DPF 1.1

Tree planting is provided in accordance with the following:

Site size per dwelling (m <sup>2</sup> )	Tree size* and number required per dwelling
<450	1 small tree
450-800	1 medium tree or 2 small trees
>800	1 large tree or 2 medium trees or 4 small trees

\*refer Table 1 Tree Size

Table 1 Tree Size

Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)



Small	4 m	2m	10m <sup>2</sup> and min. dimension of 1.5m
Medium	6 m	4 m	30m <sup>2</sup> and min. dimension of 2m
Large	12 m	8m	60m <sup>2</sup> and min. dimension of 4m

The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.

Table 2 Tree Discounts

Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m <sup>2</sup> and min. dimension of 1.5m	2 small trees (or 1 medium tree)
6-12m	4-8m	30m <sup>2</sup> and min. dimension of 3m	2 medium trees (or 4 small trees)
>12m	>8m	60m <sup>2</sup> and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)

Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.

## Part 4 - General Development Policies

### Clearance from Overhead Powerlines

#### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

### Deemed to Satisfy

DTS/DPF 1.1

One of the following is satisfied:

- (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the *Electricity Act 1996*
- (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

## Design in Urban Areas

### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
All Development	
On-site Waste Treatment Systems	
DTS/DPF 6.1	<p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> <li>(a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space</li> <li>(b) use an area also used as a driveway</li> <li>(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>
Earthworks and sloping land	
DTS/DPF 8.1	<p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> <li>(a) excavation exceeding a vertical height of 1m</li> <li>(b) filling exceeding a vertical height of 1m</li> <li>(c) a total combined excavation and filling vertical height of 2m or more.</li> </ul>
DTS/DPF 8.2	<p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> <li>(a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway</li> <li>(b) are constructed with an all-weather trafficable surface.</li> </ul>
Overlooking / Visual Privacy (low rise buildings)	
DTS/DPF 10.1	<p>Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:</p> <ul style="list-style-type: none"> <li>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm</li> <li>(b) have sill heights greater than or equal to 1.5m above finished floor level</li> <li>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.</li> </ul>
DTS/DPF 10.2	<p>One of the following is satisfied:</p> <ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace</li> </ul>

- or
- (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:
- (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land
  - or
  - (ii) 1.7m above finished floor level in all other cases

All residential development

#### Front elevations and passive surveillance

DTS/DPF 17.1

Each dwelling with a frontage to a public street:

- (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m
- (b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street.

DTS/DPF 17.2

Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.

#### Outlook and Amenity

DTS/DPF 18.1

A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.

Residential Development - Low Rise

#### External appearance

DTS/DPF 20.1

Garages and carports facing a street:

- (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling
- (b) are set back at least 5.5m from the boundary of the primary street
- (c) have a garage door / opening width not exceeding 7m
- (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.

DTS/DPF 20.2

Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:

- (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line
- (b) a porch or portico projects at least 1m from the building wall
- (c) a balcony projects from the building wall
- (d) a verandah projects at least 1m from the building wall
- (e) eaves of a minimum 400mm width extend along the width of the front elevation
- (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm
- (g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.

## Private Open Space

DTS/DPF 21.1

Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.

DTS/DPF 21.2

Private open space is directly accessible from a habitable room.

## Landscaping

DTS/DPF 22.1

Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):

- (a) a total area as determined by the following table:

Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site
<150	10%
150-200	15%
>200-450	20%
>450	25%

- (b) at least 30% of any land between the primary street boundary and the primary building line.

## Car parking, access and manoeuvrability

DTS/DPF 23.1

Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):

- (a) single width car parking spaces:
- (i) a minimum length of 5.4m per space
  - (ii) a minimum width of 3.0m
  - (iii) a minimum garage door width of 2.4m
- (b) double width car parking spaces (side by side):
- (i) a minimum length of 5.4m
  - (ii) a minimum width of 5.4m
  - (iii) minimum garage door width of 2.4m per space.

DTS/DPF 23.2

Uncovered car parking spaces have:

- (a) a minimum length of 5.4m
- (b) a minimum width of 2.4m

- (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.

DTS/DPF 23.3

Driveways and access points satisfy (a) or (b):

- (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site
- (b) sites with a frontage to a public road greater than 10m:
  - (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;
  - (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.

DTS/DPF 23.4

Vehicle access to designated car parking spaces satisfy (a) or (b):

- (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land
- (b) where newly proposed, is set back:
  - (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner
  - (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance
  - (iii) 6m or more from the tangent point of an intersection of 2 or more roads
  - (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.

DTS/DPF 23.5

Driveways are designed and sited so that:

- (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average
- (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary.
- (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site

DTS/DPF 23.6

Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:

- (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)
- (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly
- (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

#### Waste storage

DTS/DPF 24.1

Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:

- (a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and
- (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

Design of Transportable Buildings
<p>DTS/DPF 25.1</p> <p>Buildings satisfy (a) or (b):</p> <p>(a) are not transportable</p> <p>(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.</p>
Group Dwellings, Residential Flat Buildings and Battle axe Development
Amenity
<p>DTS/DPF 31.4</p> <p>Dwelling sites/allotments are not in the form of a battle-axe arrangement.</p>
Laneway Development
Infrastructure and Access
<p>DTS/DPF 44.1</p> <p>Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.</p>

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <p>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</p> <p>(b) Site area ≥ 301m<sup>2</sup>: 60m<sup>2</sup> located behind the building line.</p> <p>Minimum directly accessible from a living room: 16m<sup>2</sup> / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m <sup>2</sup> , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m <sup>2</sup> / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m <sup>2</sup> / minimum dimension 1.8m
	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m
	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m
	Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m

## Infrastructure and Renewable Energy Facilities

### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
Water Supply	
DTS/DPF 11.2	<p>A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:</p> <ul style="list-style-type: none"> <li>(a) exclusively for domestic use</li> <li>(b) connected to the roof drainage system of the dwelling.</li> </ul>
Wastewater Services	
DTS/DPF 12.1	<p>Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) the system is wholly located and contained within the allotment of development it will service; and</li> <li>(b) the system will comply with the requirements of the South Australian Public Health Act 2011.</li> </ul>
DTS/DPF 12.2	<p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

## Site Contamination

### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
DTS/DPF 1.1	<p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> <li>(a) does not involve a change in the use of land</li> <li>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</li> <li>(c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</li> <li>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: <ul style="list-style-type: none"> <li>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- <ul style="list-style-type: none"> <li>A. site contamination does not exist (or no longer exists) at the land</li> </ul> </li> </ul> </li> </ul>

- or
  - B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)
  - or
  - C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)
- and
- (ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).

## Transport, Access and Parking

### Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

## Deemed to Satisfy

### Vehicle Parking Rates

DTS/DPF 5.1

Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:

- (a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements
- (b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas
- (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.

### Corner Cut-Offs

DTS/DPF 10.1

Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:



Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
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	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>

Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	Minimum number of spaces	Maximum number of spaces	
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:	Capital City Zone City Main Street Zone City Riverbank Zone

		1 space for each dwelling with a total floor area less than 75 square metres  2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres  3 spaces for each dwelling with a total floor area greater than 150 square metres.  Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.	Adelaide Park Lands Zone  Business Neighbourhood Zone (within the City of Adelaide)  The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone
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Table 2 - CriteriaThe following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
<p><b>The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:</b></p> <p>(a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service<sup>(2)</sup></p> <p>(b) is within 400 metres of a bus interchange<sup>(1)</sup></p> <p>(c) is within 400 metres of an O-Bahn interchange<sup>(1)</sup></p> <p>(d) is within 400 metres of a passenger rail station<sup>(1)</sup></p> <p>(e) is within 400 metres of a passenger tram station<sup>(1)</sup></p> <p>(f) is within 400 metres of the Adelaide Parklands.</p>	<p>(a) All zones in the City of Adelaide</p> <p>(b) Strategic Innovation Zone in the following locations:</p> <p>(i) City of Burnside</p> <p>(ii) City of Marion</p> <p>(iii) City of Mitcham</p> <p>(c) Urban Corridor (Boulevard) Zone</p> <p>(d) Urban Corridor (Business) Zone</p> <p>(e) Urban Corridor (Living) Zone</p> <p>(f) Urban Corridor (Main Street ) Zone</p> <p>(g) Urban Neighbourhood Zone</p>

[NOTE(S): (1)Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

## Detached dwelling - Code Assessed - Performance Assessed

### Part 2 - Zones and Sub Zones

#### Waterfront Neighbourhood Zone

## Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A diverse range of housing which takes advantage of waterfront locations. Development enhances public access to waterfront areas. Dual aspect allotments incorporate designs to enhance the streetscape.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
PO 1.1  Residential development and supporting services and facilities make waterfront neighbourhoods a convenient place to live.	DTS/DPF 1.1  Development comprises one or more of the following: <ul style="list-style-type: none"> <li>(a) Ancillary accommodation</li> <li>(b) Community facility</li> <li>(c) Dwelling</li> <li>(d) Educational establishment</li> <li>(e) Jetty, pontoon or boat berth (or any combination thereof)</li> <li>(f) Marina</li> <li>(g) Office</li> <li>(h) Place of Worship</li> <li>(i) Pre-school</li> <li>(j) Recreation area</li> <li>(k) Residential flat building</li> <li>(l) Retirement facility</li> <li>(m) Shop</li> <li>(n) Supported accommodation</li> <li>(o) Tourist accommodation</li> </ul>
Site Dimensions and Land Division	
PO 2.1  Allotments/sites created for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and remain compatible with the pattern of development in a waterfront neighbourhood.	DTS/DPF 2.1  Development will not result in more than 1 dwelling on an existing allotment  or  Allotments/sites for residential purposes accord with the following: <ul style="list-style-type: none"> <li>(a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group dwellings or dwellings within a residential flat building):</li> </ul>

	<b>Minimum Site Area</b>
	Minimum site area for a detached dwelling is 300 sqm; semi-detached dwelling is 250 sqm; row dwelling is 200 sqm; group dwelling is 200 sqm; residential flat building is 200 sqm
	(b) site frontages (or allotment frontages in the case of land division) are not less than:
	<b>Minimum Frontage</b>
	Minimum frontage for a detached dwelling is 5m; semi-detached dwelling is 5m; row dwelling is 5m; group dwelling is 5m; residential flat building is 5m
	In relation to DTS/DPF 2.1, in instances where:
	(c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation layer</i> or <i>Minimum Site Area Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development
	(d) no value is returned in (a) or (b) (i.e. there is a blank field or relevant dwelling type is not listed), then none are applicable and the relevant development cannot be classified as deemed-to-satisfy.
PO 2.2	DTS/DPF 2.2
Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.	Where the site of a dwelling does not comprise an entire allotment:
	(a) The balance of the allotment accords with site area and frontage requirements specified in DTS/DPF 2.1
	(b) If there is an existing dwelling on the allotment that will remain on the allotment after completion of the development, it will not contravene:
	(i) Private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space
	(ii) Car parking requirements specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.
Site Coverage	
PO 3.1	DTS/DPF 3.1
Building footprints consistent with the character of a waterfront neighbourhood and limited to:	The development does not result in site coverage exceeding:
(a) allow sufficient space around buildings to limit visual impact	(a) on sites 300m <sup>2</sup> or less and with a dual frontage to the waterfront and a public street, 80%.
(b) provide an attractive outlook	(b) in all other cases, 60%.
(c) provide access to light and ventilation	
(d) on sites with a dual frontage, to maximise use of available land.	
Building Height	

<p>PO 4.1</p> <p>Building height is consistent with the form expressed in any relevant Maximum Building Height Levels Technical and Numeric Variation and Maximum Building Height Metres Technical and Numeric Variation, and is otherwise generally low rise, or complements the height of nearby buildings.</p>	<p>DTS/DPF 4.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <p>(a) the following:</p> <table><tr><td><b>Maximum Building Height (Metres)</b></td></tr><tr><td>Maximum building height is 12m</td></tr><tr><td><b>Maximum Building Height (Levels)</b></td></tr><tr><td>Maximum building height is 3 levels</td></tr></table> <p>(b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m.</p> <p>In relation to DTS/DPF 4.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer and Maximum Building Height (Metres) Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development</p> <p>(d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</p>	<b>Maximum Building Height (Metres)</b>	Maximum building height is 12m	<b>Maximum Building Height (Levels)</b>	Maximum building height is 3 levels
<b>Maximum Building Height (Metres)</b>					
Maximum building height is 12m					
<b>Maximum Building Height (Levels)</b>					
Maximum building height is 3 levels					
Primary Street Setback					
<p>PO 5.1</p> <p>Buildings are setback from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape and the waterfront environment.</p>	<p>DTS/DPF 5.1</p> <p>Other than development on allotments/sites with dual frontage to both a waterfront and a public road, the building line of buildings set back from the primary street boundary:</p> <p>(a) at least the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment)</p> <p>(b) where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), not less than the setback to the building line of that building</p> <p>or</p> <p>(c) not less than 5m where no building exists on an adjoining site with the same primary street frontage.</p>				
Secondary Street Setback					
<p>PO 6.1</p> <p>Buildings are set back from secondary street boundaries to achieve separation between building walls and public streets and contribute to a suburban streetscape character.</p>	<p>DTS/DPF 6.1</p> <p>Building walls are set back from the boundary of the allotment with a secondary street frontage at least:</p> <p>(a) at least 900mm</p> <p>or</p>				

	<p>(b) if a dwelling on any adjoining allotment is closer to the secondary street than 900mm, at least the distance of that dwelling from the boundary with the secondary street</p> <p>whichever is less.</p>
Boundary Walls	
<p>PO 7.1</p> <p>Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b):</p> <p>(a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same, or lesser length and height</p> <p>(b) side boundary walls do not:</p> <ul style="list-style-type: none"> <li>(i) exceed 3m in height from the top of footings</li> <li>(ii) exceed 11.5m in length</li> <li>(iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary</li> <li>(iv) encroach within 3 metres of any other existing or proposed boundary walls on the subject land.</li> </ul>
<p>PO 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a suburban streetscape character.</p>	<p>DTS/DPF 7.2</p> <p>Dwelling walls in a semi-detached, row or terrace arrangement are setback at least 900mm from side boundaries shared with allotments outside the development site.</p>
Side boundary setback	
<p>PO 8.1</p> <p>Building walls are set back from side boundaries to provide:</p> <p>(a) separation between dwellings in a way that contributes to a suburban character</p> <p>and</p> <p>(b) access to natural light and ventilation for neighbours.</p>	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundary, building walls are set back from side boundaries:</p> <p>(a) at least 900mm where the wall height is up to 3m</p> <p>(b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m and</p> <p>(c) at least 1900mm plus 1/3 of the wall height above 3m for walls facing a southern side boundary.</p>
Rear boundary setback	
<p>PO 9.1</p> <p>Dwelling walls are set back from rear boundaries to provide:</p>	<p>DTS/DPF 9.1</p> <p>Dwelling walls are set back from the rear boundary at least:</p>

<ul style="list-style-type: none"> <li>(a) separation between dwellings in a way that contributes to a suburban character</li> <li>(b) access to natural light and ventilation for neighbours</li> <li>(c) private open space</li> <li>(d) space for landscaping and vegetation</li> <li>(e) a consistent character when viewed from a waterfront.</li> </ul>	<ul style="list-style-type: none"> <li>(a) where the rear boundary fronts a waterfront, no less than the average rear setback of any existing dwellings on adjoining allotments.</li> <li>(b) where the rear boundary adjoins a laneway - 0m</li> <li>(c) In all other cases: <ul style="list-style-type: none"> <li>(i) if the size of the site is less than 301 square metres— <ul style="list-style-type: none"> <li>A. 3m in relation to the ground floor of the dwelling</li> <li>B. 5m in relation to any other building level of the dwelling</li> </ul> </li> <li>(ii) if the size of the site is 301 square metres or more— <ul style="list-style-type: none"> <li>A. 4m in relation to the ground floor of the dwelling</li> <li>B. 6m in relation to any other building level of the dwelling.</li> </ul> </li> </ul> </li> </ul>
Built form and character	
PO 11.1 Dwellings on sites with frontages to both a public street and a waterfront designed to address both frontages.	DTS/DPF 11.1 Development is not located on a site/allotment with frontage to a waterfront.
PO 11.2 Service areas associated with dwellings such as open storage and clothes drying screened from public view.	DTS/DPF 11.2 None are applicable.
PO 11.3 Development set back from waterfronts to establish a consistent character that includes soft landscaping along coastal/riverine frontages.	DTS/DPF 11.3 None are applicable.

## Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development	Exceptions
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(Column A)	(Column B)
<p>1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.</p>	<p>None specified.</p>
<p>2. All development undertaken by:</p> <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	<p>Except development involving any of the following:</p> <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition of a State or Local Heritage Place</li> <li>3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.</li> </ul>
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) ancillary accommodation</li> <li>(c) building work on railway land</li> <li>(d) carport</li> <li>(e) deck</li> <li>(f) dwelling</li> <li>(g) dwelling addition</li> <li>(h) fence</li> <li>(i) jetty, pontoon or boat berth (or any combination thereof)</li> <li>(j) outbuilding</li> <li>(k) pergola</li> <li>(l) private bushfire shelter</li> <li>(m) residential flat building</li> <li>(n) retaining wall</li> <li>(o) shade sail</li> <li>(p) solar photovoltaic panels (roof mounted)</li> <li>(q) swimming pool or spa pool</li> <li>(r) verandah</li> <li>(s) water tank.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Waterfront Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Waterfront Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. does not satisfy Waterfront Neighbourhood Zone DTS/DPF 1.5 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and:</li> </ul>



	<p>(a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment)</p> <p>or</p> <p>(b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).</p>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) internal building works</li> <li>(b) land division</li> <li>(c) recreation area</li> <li>(d) replacement building</li> <li>(e) temporary accommodation in an area affected by bushfire</li> <li>(f) tree damaging activity.</li> </ul>	None specified.
6. Demolition.	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition of a State or Local Heritage Place</li> <li>2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.</li> </ul>

#### Placement of Notices - Exemptions for Performance Assessed Development

None specified.

#### Placement of Notices - Exemptions for Restricted Development

None specified.

## Part 3 - Overlays

### Affordable Housing Overlay

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Affordable housing is integrated with residential and mixed use development.

DO 2	Affordable housing caters for a variety of household structures.
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Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
PO 1.1 Development comprising 20 or more dwellings / allotments incorporates affordable housing.	DTS/DPF 1.1 Development results in 0-19 additional allotments / dwellings.
PO 1.2 Development comprising 20 or more dwellings or residential allotments provides housing suited to a range of incomes including households with low to moderate incomes.	DTS/DPF 1.2 Development comprising 20 or more dwellings / or residential allotments includes a minimum of 15% affordable housing except where: <ul style="list-style-type: none"> <li>(a) it can be demonstrated that any shortfall in affordable housing has been provided in a previous stage of development</li> <li>or</li> <li>(b) it can be demonstrated that any shortfall in affordable housing will be accommodated in a subsequent stage or stages of development.</li> </ul>
PO 1.3 Affordable housing is distributed throughout the development to avoid an overconcentration.	DTS/DPF 1.3 None are applicable.
Built Form and Character	
PO 2.1 Affordable housing is designed to complement the design and character of residential development within the locality.	DTS/DPF 2.1 None are applicable.
Affordable Housing Incentives	
PO 3.1 To support the provision of affordable housing, minimum allotment sizes may be reduced below the minimum allotment size specified in a zone while providing allotments of a suitable size and dimension to accommodate dwellings with a high standard of occupant amenity.	DTS/DPF 3.1 The minimum site area specified for a dwelling can be reduced by up to 20%, or the maximum density per hectare increased by up to 20%, where it is to be used to accommodate affordable housing except where the development is located within the Character Area Overlay or Historic Area Overlay.
PO 3.2 To support the provision of affordable housing, building heights may be increased above the maximum specified in a zone.	DTS/DPF 3.2 Where a building incorporates dwellings above ground level and includes at least 15% affordable housing, the maximum building height specified in any relevant zone policy can be increased by 1 building level in the: <ul style="list-style-type: none"> <li>(a) Business Neighbourhood Zone</li> <li>(b) City Living Zone</li> </ul>

	<ul style="list-style-type: none"> <li>(c) Established Neighbourhood Zone</li> <li>(d) General Neighbourhood Zone</li> <li>(e) Hills Neighbourhood Zone</li> <li>(f) Housing Diversity Neighbourhood Zone</li> <li>(g) Neighbourhood Zone</li> <li>(h) Master Planned Neighbourhood Zone</li> <li>(i) Master Planned Renewal Zone</li> <li>(j) Master Planned Township Zone</li> <li>(k) Rural Neighbourhood Zone</li> <li>(l) Suburban Business Zone</li> <li>(m) Suburban Neighbourhood Zone</li> <li>(n) Township Neighbourhood Zone</li> <li>(o) Township Zone</li> <li>(p) Urban Renewal Neighbourhood Zone</li> <li>(q) Waterfront Neighbourhood Zone</li> </ul> <p>and up to 30% in any other zone, except where:</p> <ul style="list-style-type: none"> <li>(a) the development is located within the Character Area Overlay or Historic Area Overlay or</li> <li>(b) other height incentives already apply to the development.</li> </ul>
Movement and Car Parking	
<p>PO 4.1</p> <p>Sufficient car parking is provided to meet the needs of occupants of affordable housing.</p>	<p>DTS/DPF 4.1</p> <p>Dwellings constituting affordable housing are provided with car parking in accordance with the following:</p> <ul style="list-style-type: none"> <li>(a) 0.3 carpark per dwelling within a building which incorporates dwellings located above ground level within either: <ul style="list-style-type: none"> <li>(i) 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service<sup>(2)</sup></li> <li>(ii) is within 400 metres of a bus interchange<sup>(1)</sup></li> <li>(iii) is within 400 metres of an O-Bahn interchange<sup>(1)</sup></li> <li>(iv) is within 400 metres of a passenger rail station<sup>(1)</sup></li> <li>(v) is within 400 metres of a passenger tram station<sup>(1)</sup></li> <li>(vi) is within 400 metres of the Adelaide Parklands.</li> </ul> </li> <li>or</li> <li>(b) 1 carpark per dwelling for any other dwelling.</li> </ul> <p>[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]</p>

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development for the purposes of the provision of affordable housing (applying the criteria determined under regulation 4 of the <i>South Australian Housing Trust Regulations 2010</i> ).	Minister responsible for administering the <i>South Australian Housing Trust Act 1995</i> .	To provide direction on the conditions required to secure the provision of dwellings or allotments for affordable housing.	Development of a class to which Schedule 9 clause 3 item 20 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Airport Building Heights (Regulated) Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas.

In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development:  (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i>  (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Coastal Flooding Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Recognition of coastal flood hazards to avoid the need, now and in the future, for public expenditure on protection of the environment and development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature	
PO 1.1  Development, including associated roads and parking areas, but not minor structures unlikely to be adversely affected by flooding, is protected from the standard sea flood risk level and 1m of sea level rise.	DTS/DPF 1.1  Development incorporates finished ground and floor levels not less than: <table><tr><td>Finished Ground and Floor Levels</td></tr></table>	Finished Ground and Floor Levels
Finished Ground and Floor Levels		

Finished Ground and Floor Levels	
	Minimum finished ground level is 3m AHD; Minimum finished floor level is 3.25m AHD
	<p>In instances where no value is specified (i.e. there is a blank field):</p> <ul style="list-style-type: none"> <li>(a) finished ground levels allow for sea level rise by being raised 300mm or more above the standard sea flood risk level</li> <li>(b) finished floor levels are 550mm or more above the standard sea flood risk level</li> <li>(c) practical measures can be implemented to provide future protection against an additional sea level rise of 700mm plus an allowance to accommodate 100 years of land subsidence.</li> </ul>

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Hazards (Flooding – General) Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from general flood risk are minimised through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 2.1 Development is sited, designed and constructed to prevent the	DTS/DPF 2.1 Habitable buildings, commercial and industrial buildings, and

entry of floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	buildings used for animal keeping incorporate a finished ground and floor level not less than:
	<b>Finished Ground and Floor Levels</b>
	Minimum finished ground level is 3m AHD; Minimum finished floor level is 3.25m AHD
	In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Stormwater Management Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Residential development is designed to capture and re-use stormwater to:	DTS/DPF 1.1 Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
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Policy24		P&D Code (in effect) Version 2023.6 27/04/2023	
None	None	None	None

## Urban Tree Canopy Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature																								
<p>PO 1.1</p> <p>Trees are planted or retained to contribute to an urban tree canopy.</p>	<p>DTS/DPF 1.1</p> <p>Tree planting is provided in accordance with the following:</p> <table><tr><th>Site size per dwelling (m<sup>2</sup>)</th><th>Tree size* and number required per dwelling</th></tr><tr><td>&lt;450</td><td>1 small tree</td></tr><tr><td>450-800</td><td>1 medium tree or 2 small trees</td></tr><tr><td>&gt;800</td><td>1 large tree or 2 medium trees or 4 small trees</td></tr></table> <p>*refer Table 1 Tree Size</p> <table><tr><th colspan="4">Table 1 Tree Size</th></tr><tr><th>Tree size</th><th>Mature height (minimum)</th><th>Mature spread (minimum)</th><th>Soil area around tree within development site (minimum)</th></tr><tr><td>Small</td><td>4 m</td><td>2m</td><td>10m<sup>2</sup> and min. dimension of 1.5m</td></tr><tr><td>Medium</td><td>6 m</td><td>4 m</td><td>30m<sup>2</sup> and min.</td></tr></table>	Site size per dwelling (m <sup>2</sup> )	Tree size* and number required per dwelling	<450	1 small tree	450-800	1 medium tree or 2 small trees	>800	1 large tree or 2 medium trees or 4 small trees	Table 1 Tree Size				Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)	Small	4 m	2m	10m <sup>2</sup> and min. dimension of 1.5m	Medium	6 m	4 m	30m <sup>2</sup> and min.
Site size per dwelling (m <sup>2</sup> )	Tree size* and number required per dwelling																								
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Table 1 Tree Size																									
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)																						
Small	4 m	2m	10m <sup>2</sup> and min. dimension of 1.5m																						
Medium	6 m	4 m	30m <sup>2</sup> and min.																						

			dimension of 2m															
	Large	12 m	8m															
			60m <sup>2</sup> and min. dimension of 4m															
	<p>The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.</p>																	
	<p><b>Table 2 Tree Discounts</b></p> <table> <tr> <th>Retained tree height (Column A)</th><th>Retained tree spread (Column B)</th><th>Retained soil area around tree within development site (Column C)</th><th>Discount applied (Column D)</th></tr> <tr> <td>4-6m</td><td>2-4m</td><td>10m<sup>2</sup> and min. dimension of 1.5m</td><td>2 small trees (or 1 medium tree)</td></tr> <tr> <td>6-12m</td><td>4-8m</td><td>30m<sup>2</sup> and min. dimension of 3m</td><td>2 medium trees (or 4 small trees)</td></tr> <tr> <td>&gt;12m</td><td>&gt;8m</td><td>60m<sup>2</sup> and min. dimension of 6m</td><td>2 large trees (or 4 medium trees, or 8 small trees)</td></tr> </table> <p>Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.</p>			Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)	4-6m	2-4m	10m <sup>2</sup> and min. dimension of 1.5m	2 small trees (or 1 medium tree)	6-12m	4-8m	30m <sup>2</sup> and min. dimension of 3m	2 medium trees (or 4 small trees)	>12m	>8m	60m <sup>2</sup> and min. dimension of 6m
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)															
4-6m	2-4m	10m <sup>2</sup> and min. dimension of 1.5m	2 small trees (or 1 medium tree)															
6-12m	4-8m	30m <sup>2</sup> and min. dimension of 3m	2 medium trees (or 4 small trees)															
>12m	>8m	60m <sup>2</sup> and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)															

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

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Policy24		P&D Code (in effect) Version 2023.6 27/04/2023	
Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Part 4 - General Development Policies

### Clearance from Overhead Powerlines

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1  Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1  One of the following is satisfied: <ul style="list-style-type: none"> <li>(a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i></li> <li>(b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.</li> </ul>

### Design in Urban Areas

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is:

	<ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> <li>(d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.</li> </ul>
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## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
On-site Waste Treatment Systems	
<p>PO 6.1</p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p>DTS/DPF 6.1</p> <p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> <li>(a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space</li> <li>(b) use an area also used as a driveway</li> <li>(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>
Car parking appearance	
<p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:</p> <ul style="list-style-type: none"> <li>(a) limiting protrusion above finished ground level</li> <li>(b) screening through appropriate planting, fencing and mounding</li> <li>(c) limiting the width of openings and integrating them into the building structure.</li> </ul>	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
Earthworks and sloping land	
<p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> <li>(a) excavation exceeding a vertical height of 1m</li> <li>(b) filling exceeding a vertical height of 1m</li> <li>(c) a total combined excavation and filling vertical height of 2m or more.</li> </ul>
<p>PO 8.2</p>	<p>DTS/DPF 8.2</p>

Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b): <ul style="list-style-type: none"> <li>(a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway</li> <li>(b) are constructed with an all-weather trafficable surface.</li> </ul>
PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8): <ul style="list-style-type: none"> <li>(a) do not contribute to the instability of embankments and cuttings</li> <li>(b) provide level transition areas for the safe movement of people and goods to and from the development</li> <li>(c) are designed to integrate with the natural topography of the land.</li> </ul>	DTS/DPF 8.3 None are applicable.
PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	DTS/DPF 8.4 None are applicable.
PO 8.5 Development does not occur on land at risk of landslide or increase the potential for landslide or land surface instability.	DTS/DPF 8.5 None are applicable.
Overlooking / Visual Privacy (low rise buildings)	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: <ul style="list-style-type: none"> <li>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm</li> <li>(b) have sill heights greater than or equal to 1.5m above finished floor level</li> <li>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.</li> </ul>
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: <ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace</li> <li>or</li> <li>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:               <ul style="list-style-type: none"> <li>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land</li> </ul> </li> </ul>

	<p>or</p> <p>(ii) 1.7m above finished floor level in all other cases</p>
All residential development	
Front elevations and passive surveillance	
<p>PO 17.1</p> <p>Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.</p>	<p>DTS/DPF 17.1</p> <p>Each dwelling with a frontage to a public street:</p> <ul style="list-style-type: none"> <li>(a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m</li> <li>(b) has an aggregate window area of at least 2m<sup>2</sup> facing the primary street.</li> </ul>
<p>PO 17.2</p> <p>Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.</p>	<p>DTS/DPF 17.2</p> <p>Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.</p>
Outlook and Amenity	
<p>PO 18.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 18.1</p> <p>A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.</p>
Residential Development - Low Rise	
External appearance	
<p>PO 20.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>DTS/DPF 20.1</p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> <li>(a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling</li> <li>(b) are set back at least 5.5m from the boundary of the primary street</li> <li>(c) have a garage door / opening width not exceeding 7m</li> <li>(d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.</li> </ul>
<p>PO 20.2</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.</p>	<p>DTS/DPF 20.2</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> <li>(a) a minimum of 30% of the building wall is set back an additional 300mm from the building line</li> <li>(b) a porch or portico projects at least 1m from the building wall</li> <li>(c) a balcony projects from the building wall</li> </ul>

	<p>(d) a verandah projects at least 1m from the building wall</p> <p>(e) eaves of a minimum 400mm width extend along the width of the front elevation</p> <p>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm</p> <p>(g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.</p>										
<p>PO 20.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 20.3</p> <p>None are applicable</p>										
Private Open Space											
<p>PO 21.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 21.1</p> <p>Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>										
<p>PO 21.2</p> <p>Private open space is positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 21.2</p> <p>Private open space is directly accessible from a habitable room.</p>										
Landscaping											
<p>PO 22.1</p> <p>Soft landscaping is incorporated into development to:</p> <ul style="list-style-type: none"> <li>(a) minimise heat absorption and reflection</li> <li>(b) contribute shade and shelter</li> <li>(c) provide for stormwater infiltration and biodiversity</li> <li>(d) enhance the appearance of land and streetscapes.</li> </ul>	<p>DTS/DPF 22.1</p> <p>Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <ul style="list-style-type: none"> <li>(a) a total area as determined by the following table: <table border="1"> <thead> <tr> <th>Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </tbody> </table> </li> <li>(b) at least 30% of any land between the primary street boundary and the primary building line.</li> </ul>	Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										

## Car parking, access and manoeuvrability

<p>PO 23.1</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> <li>(a) single width car parking spaces: <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m per space</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> </li> <li>(b) double width car parking spaces (side by side): <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.4m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul> </li> </ul>
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> <li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</li> </ul>
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site</li> <li>(b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> <li>(i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;</li> <li>(ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.</li> </ul> </li> </ul>
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed, is set back: <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> </ul> </li> </ul>



	<ul style="list-style-type: none"> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul>
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average</li> <li>(b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary.</li> <li>(c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site</li> </ul>
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
Waste storage	
<p>PO 24.1</p> <p>Provision is made for the convenient storage of waste bins in a location screened from public view.</p>	<p>DTS/DPF 24.1</p> <p>Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> <li>(a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and</li> <li>(b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.</li> </ul>
Design of Transportable Buildings	
<p>PO 25.1</p> <p>The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.</p>	<p>DTS/DPF 25.1</p> <p>Buildings satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) are not transportable</li> </ul>

	(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
Group Dwellings, Residential Flat Buildings and Battle axe Development	
Amenity	
PO 31.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.	DTS/DPF 31.2 None are applicable.
PO 31.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.	DTS/DPF 31.3 None are applicable.
PO 31.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	DTS/DPF 31.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.
Car parking, access and manoeuvrability	
PO 33.1 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	DTS/DPF 33.1 Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements:  (a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
PO 33.4 Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	DTS/DPF 33.4 Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
PO 33.5 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 33.5 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Soft landscaping	
PO 34.2 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 34.2 Battle-axe or common driveways satisfy (a) and (b):  (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).

Laneway Development	
Infrastructure and Access	
<p>PO 44.1</p> <p>Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where:</p> <ul style="list-style-type: none"> <li>(a) existing utility infrastructure and services are capable of accommodating the development</li> <li>(b) the primary street can support access by emergency and regular service vehicles (such as waste collection)</li> <li>(c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems)</li> <li>(d) safety of pedestrians or vehicle movement is maintained</li> <li>(e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.</li> </ul>	<p>DTS/DPF 44.1</p> <p>Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.</p>

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <ul style="list-style-type: none"> <li>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</li> <li>(b) Site area ≥ 301m<sup>2</sup>: 60m<sup>2</sup> located behind the building line.</li> </ul> <p>Minimum directly accessible from a living room: 16m<sup>2</sup> / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m <sup>2</sup> , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m <sup>2</sup> / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m <sup>2</sup> / minimum dimension 1.8m
	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m
	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m

Three + bedroom dwelling

15 m<sup>2</sup> / minimum dimension 2.6m

## Infrastructure and Renewable Energy Facilities

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
PO 11.2  Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.	DTS/DPF 11.2  A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is: <ul style="list-style-type: none"> <li>(a) exclusively for domestic use</li> <li>(b) connected to the roof drainage system of the dwelling.</li> </ul>
Wastewater Services	
PO 12.1  Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following: <ul style="list-style-type: none"> <li>(a) it is wholly located and contained within the allotment of the development it will service</li> <li>(b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources</li> </ul>	DTS/DPF 12.1  Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following: <ul style="list-style-type: none"> <li>(a) the system is wholly located and contained within the allotment of development it will service; and</li> <li>(b) the system will comply with the requirements of the South Australian Public Health Act 2011.</li> </ul>

(c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.	
PO 12.2  Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 12.2  Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.

## Interface between Land Uses

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
PO 3.1  Overshadowing of habitable room windows of adjacent residential land uses in:  a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.1  North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.
PO 3.2  Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:  a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.2  Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:  a. for ground level private open space, the smaller of the following: i. half the existing ground level open space or ii. 35m <sup>2</sup> of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)

	b. for ground level communal open space, at least half of the existing ground level open space.
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <ul style="list-style-type: none"> <li>(a) the form of development contemplated in the zone</li> <li>(b) the orientation of the solar energy facilities</li> <li>(c) the extent to which the solar energy facilities are already overshadowed.</li> </ul>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

## Site Contamination

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <ul style="list-style-type: none"> <li>(a) does not involve a change in the use of land</li> <li>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</li> <li>(c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</li> <li>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following: <ul style="list-style-type: none"> <li>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that- <ul style="list-style-type: none"> <li>A. site contamination does not exist (or no longer exists) at the land</li> </ul> </li> </ul> </li> </ul>

	<p>or</p> <p>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)</p> <p>or</p> <p>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</p>
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## Transport, Access and Parking

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that</p>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p>

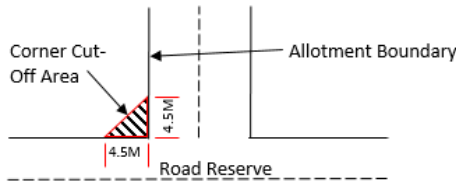
<p>may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> <li>(a) availability of on-street car parking</li> <li>(b) shared use of other parking areas</li> <li>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</li> <li>(d) the adaptive reuse of a State or Local Heritage Place.</li> </ul>	<ul style="list-style-type: none"> <li>(a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements</li> <li>(b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas</li> <li>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</li> </ul>
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)  Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>

Table 2 - Off-Street Car Parking Requirements in Designated Areas



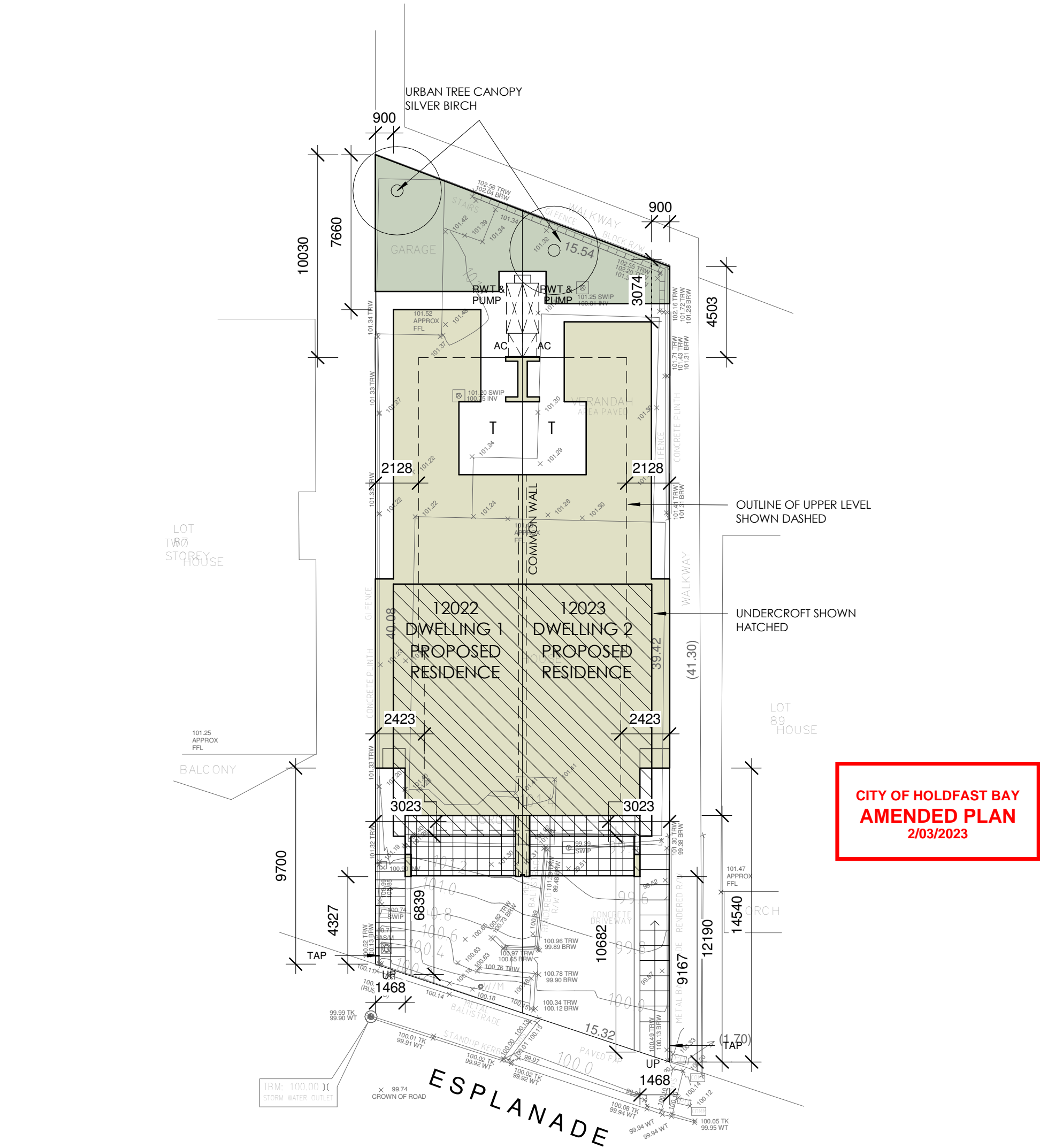
Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	<p>No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:</p> <p>1 space for each dwelling with a total floor area less than 75 square metres</p> <p>2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres</p> <p>3 spaces for each dwelling with a total floor area greater than 150 square metres.</p> <p>Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.</p>	<p>Capital City Zone</p> <p>City Main Street Zone</p> <p>City Riverbank Zone</p> <p>Adelaide Park Lands Zone</p> <p>Business Neighbourhood Zone (within the City of Adelaide)</p> <p>The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone</p>

Table 2 - CriteriaThe following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:	<p>(a) All zones in the City of Adelaide</p> <p>(b) Strategic Innovation Zone in the following locations:</p> <p>(i) City of Burnside</p> <p>(ii) City of Marion</p> <p>(iii) City of Mitcham</p>

<ul style="list-style-type: none"><li>(a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service<sup>(2)</sup></li><li>(b) is within 400 metres of a bus interchange<sup>(1)</sup></li><li>(c) is within 400 metres of an O-Bahn interchange<sup>(1)</sup></li><li>(d) is within 400 metres of a passenger rail station<sup>(1)</sup></li><li>(e) is within 400 metres of a passenger tram station<sup>(1)</sup></li><li>(f) is within 400 metres of the Adelaide Parklands.</li></ul>	<ul style="list-style-type: none"><li>(c) Urban Corridor (Boulevard) Zone</li><li>(d) Urban Corridor (Business) Zone</li><li>(e) Urban Corridor (Living) Zone</li><li>(f) Urban Corridor (Main Street ) Zone</li><li>(g) Urban Neighbourhood Zone</li></ul>
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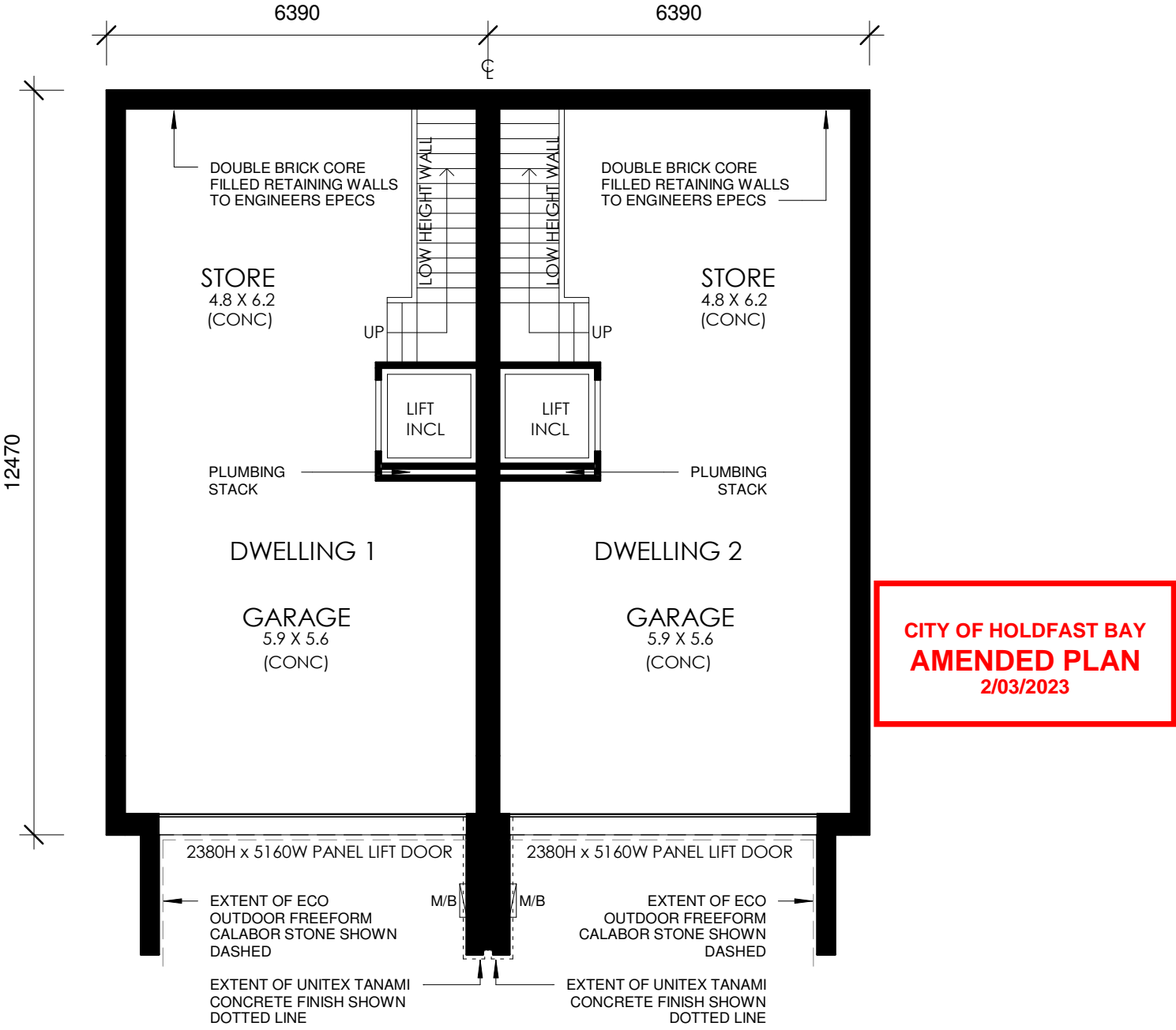
[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]



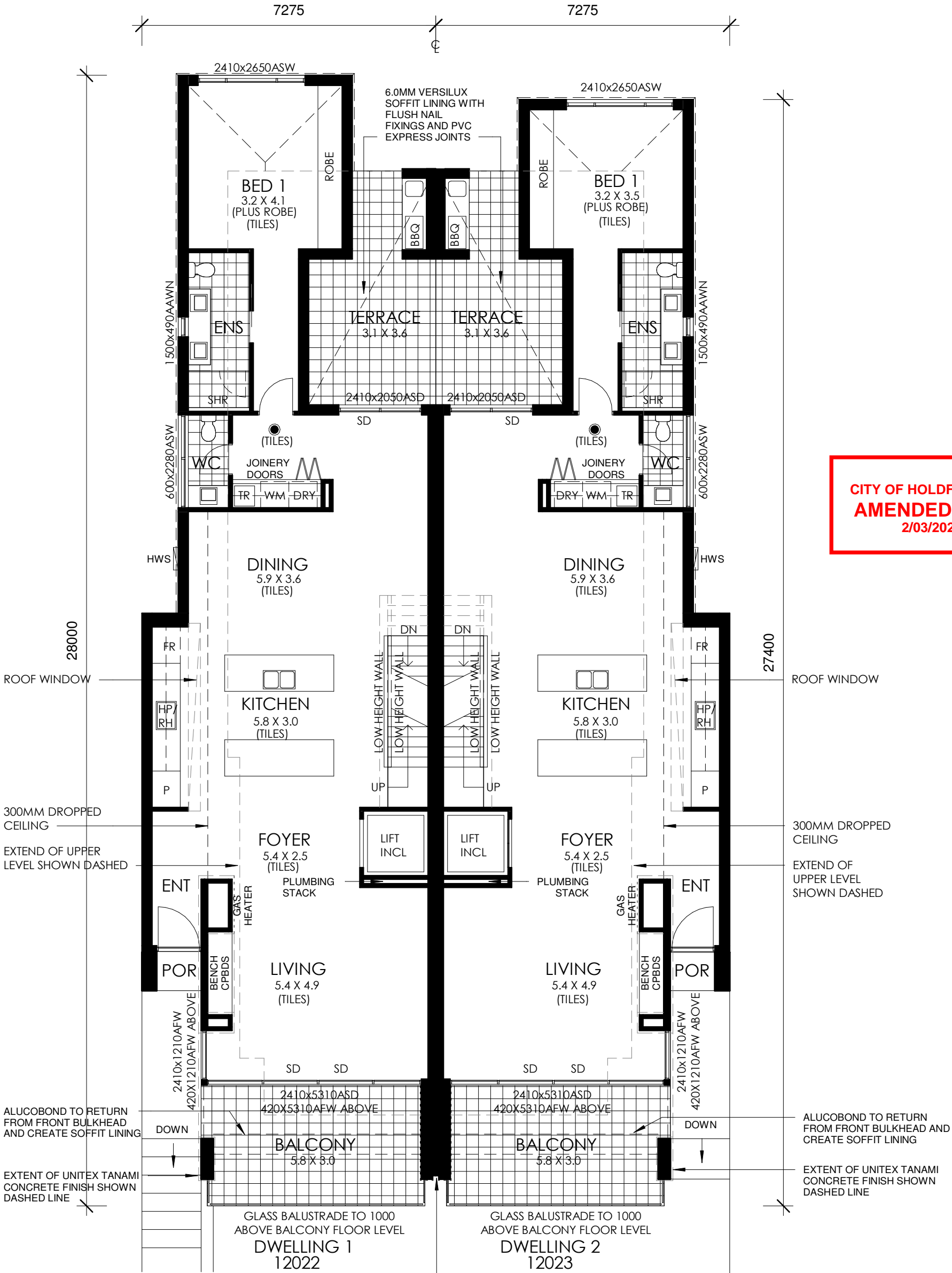
**SITE PLAN**  
SCALE: 1 : 200

DWELLING 1	
TOTAL SITE	290M2
SITE COVER	162M2 (56%)
POS	84M2 (INCL BALC)
SOFT LANDSCAPING	39M2

DWELLING 2	
TOTAL SITE	287M2
SITE COVER	162M2 (56%)
POS	67M2 (INCL BALC)
SOFT LANDSCAPING	23M2



UNDERCROFT FLOOR  
SCALE: 1 : 100



CITY OF HOLDFAST BAY  
AMENDED PLAN  
2/03/2023

GROUND FLOOR  
SCALE: 1 : 100

DWELLING 1	
UNDERCROFT	80.8
GROUND FLOOR	144.4
UPPER FLOOR	116.9
PORCH	1.4
BALCONY	17.3
TERRACE	15.9
TOTAL	376.7

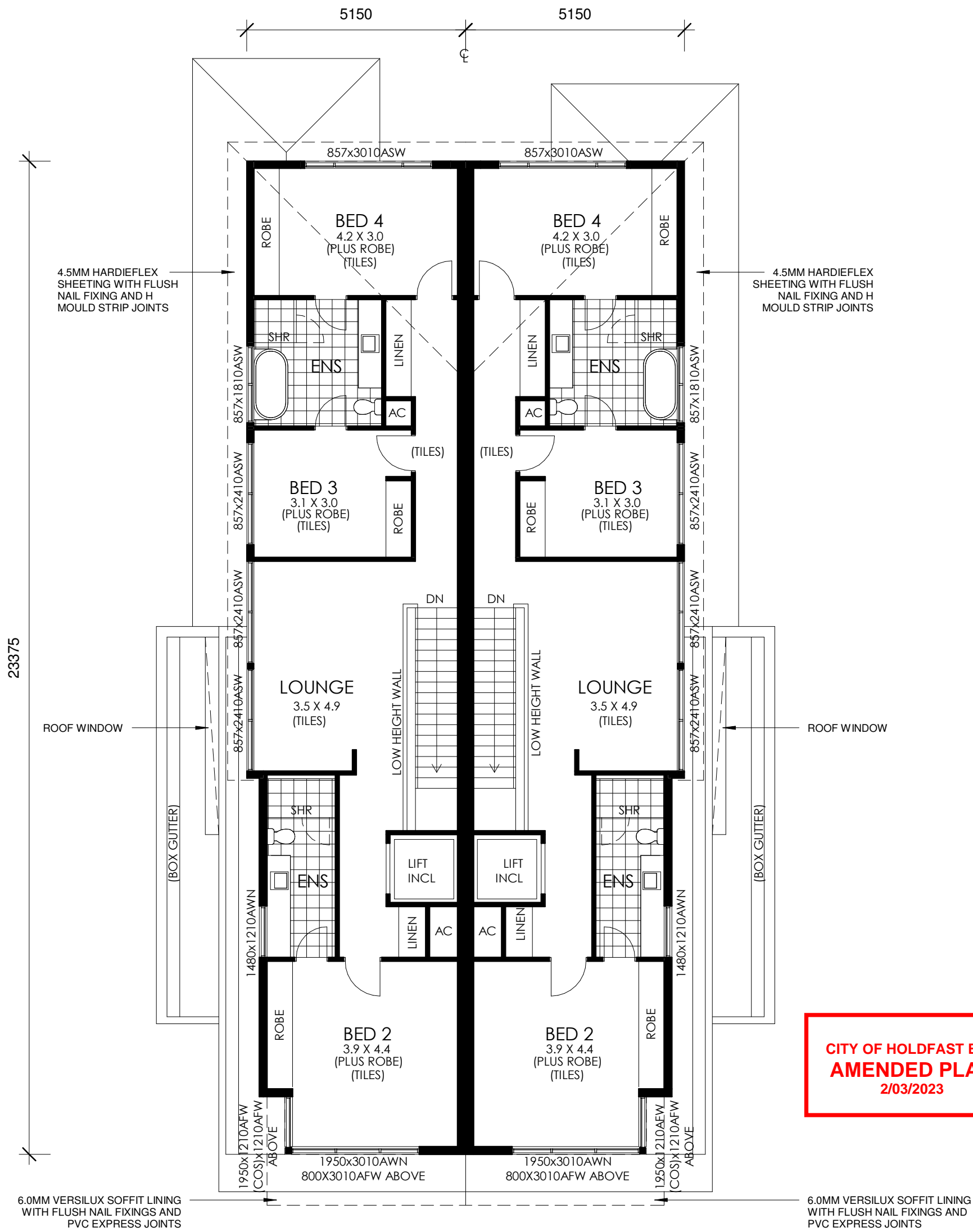
DWELLING 2	
UNDERCROFT	80.8
GROUND FLOOR	141.8
UPPER FLOOR	116.9
PORCH	1.4
BALCONY	17.3
TERRACE	15.9
TOTAL	374.1

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Date: 14.11.22		
Issue: B		
Job Number: 12022-23	TOTAL	

Client: PASQUALE SCALZI	Project: PRIVATE RESIDENCE At: LOT 88 NO 231 ESPLANADE SEACLIFF
Sheet: 3 OF 6	

Issue	Amendment	Date
A	INITIAL ISSUE	30.3.22
B	INTERNAL CHANGES	14.11.22





UPPER FLOOR  
SCALE: 1 : 100

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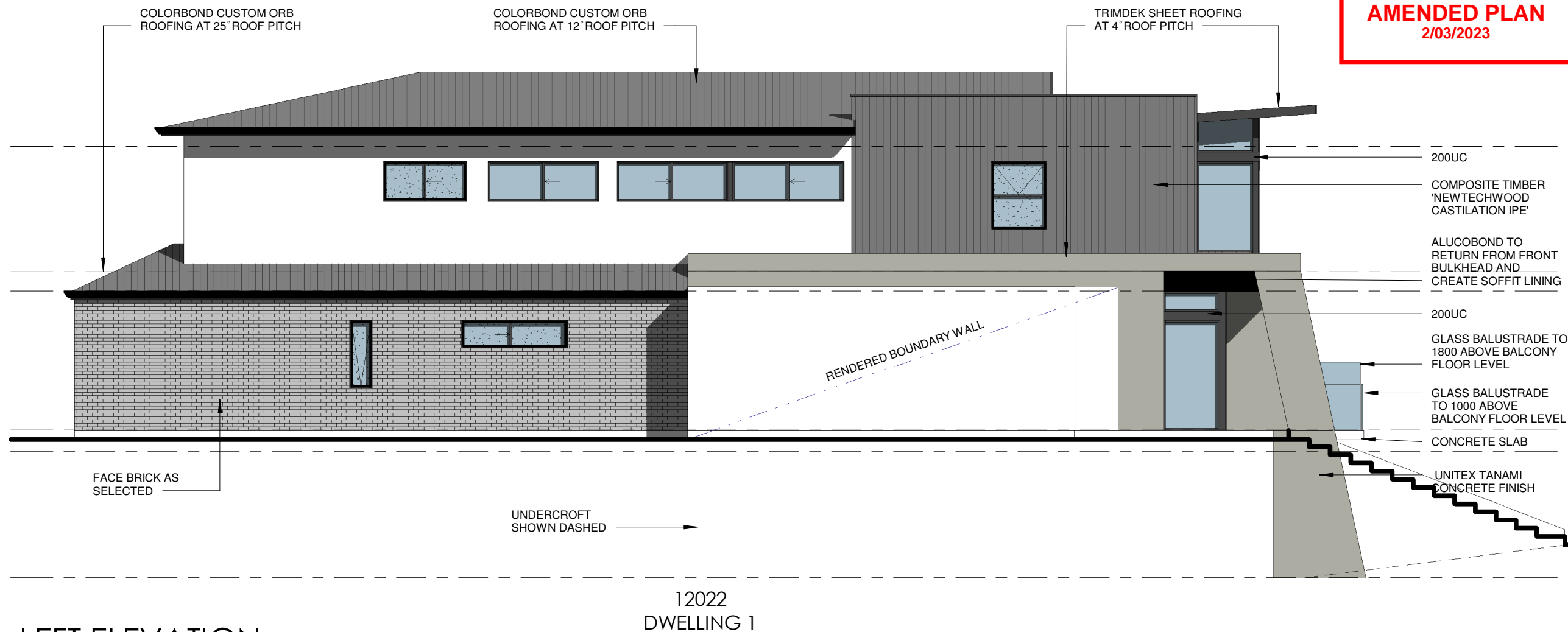
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PASQUALE SCALZI  
Project:  
PRIVATE RESIDENCE  
At:  
LOT 88 NO 231 ESPLANADE  
SEACLIFF  
Sheet:  
4 OF 6

Issue	Amendment	Date
A	INITIAL ISSUE	30.3.22
B	INTERNAL CHANGES	14.11.22





FRONT ELEVATION  
SCALE: 1 : 100



LEFT ELEVATION  
SCALE: 1 : 100

**CITY OF HOLDFAST BAY  
AMENDED PLAN  
2/03/2023**

Issue	Amendment	Date
A	INITIAL ISSUE	30.3.22
B	INTERNAL CHANGES	14.11.22

Client:  
PASQUALE SCALZI  
Project:  
PRIVATE RESIDENCE  
At:  
LOT 88 NO 231 ESPLANADE  
SEACLIFF  
Sheet:  
5 OF 6

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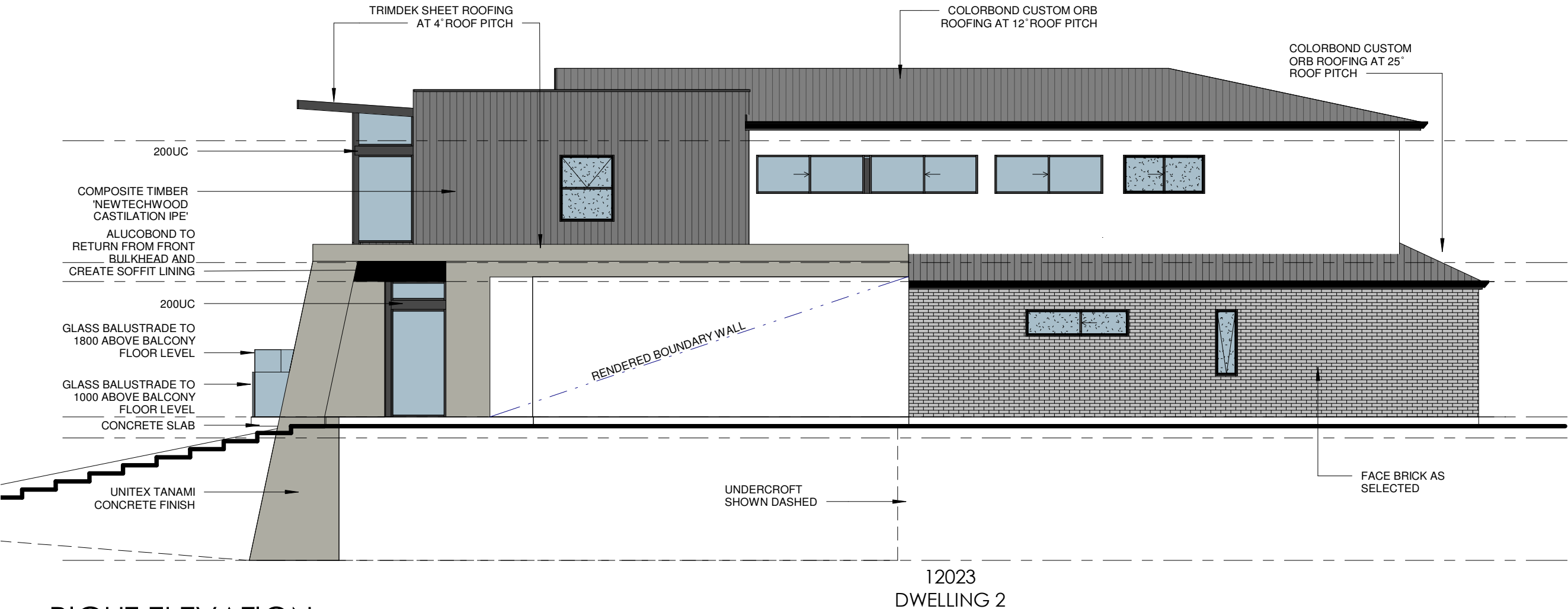
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Drawn by: MW  
Job Number: 12022-23





REAR ELEVATION  
SCALE: 1 : 100

CITY OF HOLDFAST BAY  
AMENDED PLAN  
2/03/2023



RIGHT ELEVATION  
SCALE: 1 : 100



SCOTT SALISBURY  
HOMES

Issue	Amendment	Date
A	INITIAL ISSUE	30.3.22
B	INTERNAL CHANGES	14.11.22

Client:  
PASQUALE SCALZI

Project:  
PRIVATE RESIDENCE

At:  
LOT 88 NO 231 ESPLANADE  
SEACLIFF

Sheet:  
6 OF 6

AREAS

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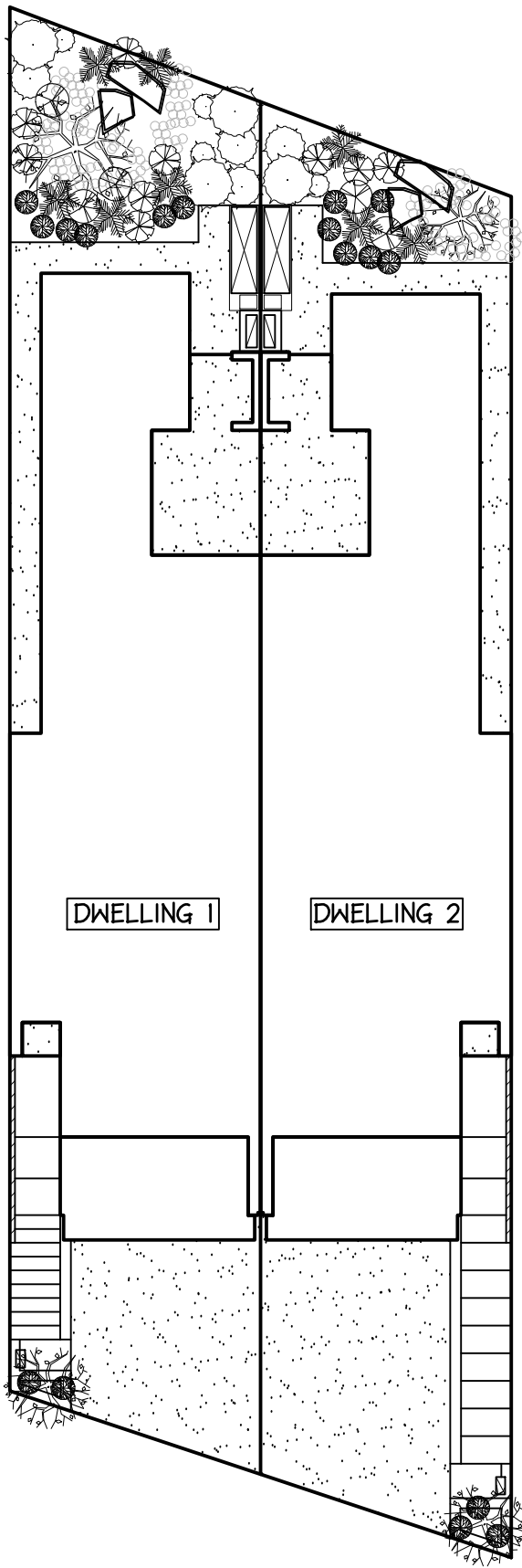
PLANNING ISSUE

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



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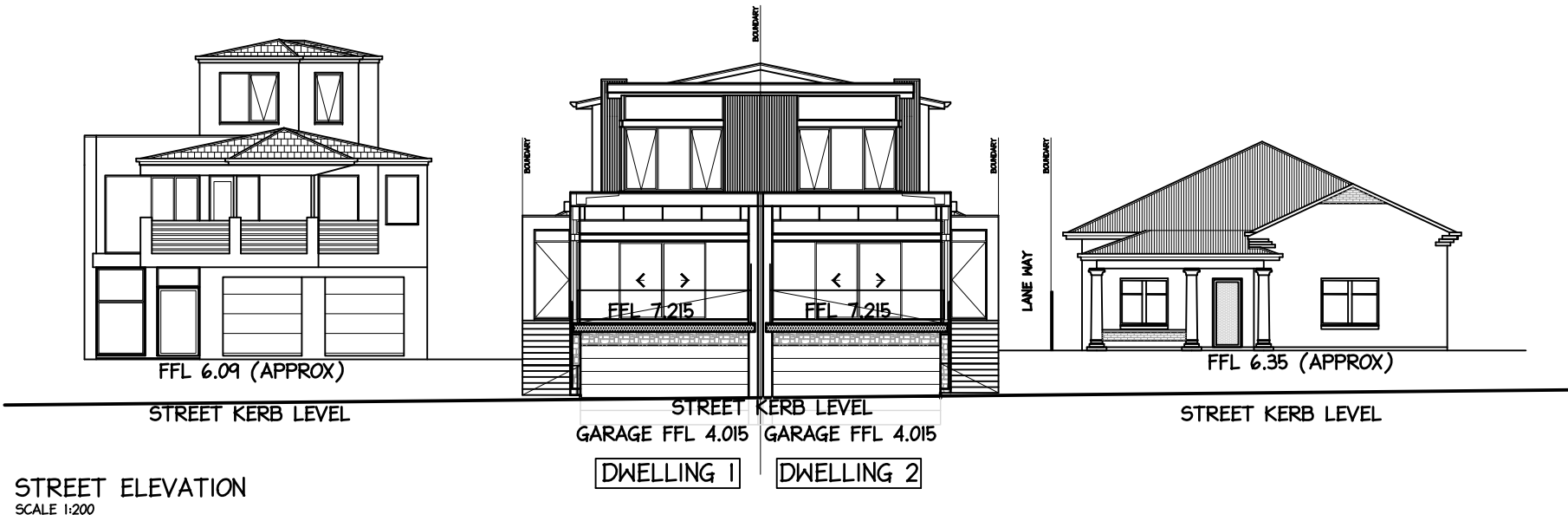
Issue: B      Job Number: 12022-23





LANDSCAPING PLAN  
SCALE 1:200

-  SILVER BIRCH -  
BETULA PENDULA
-  MAGNOLIA TEDDY BEAR -  
MAGNOLIA GRANDIFLORA
-  MEXICAN ORANGE BLOSSOM -  
CHOISYA
-  CACTUS - EUPHORBIA ERITREA
-  BLUE CHALKSTICKS
-  FOXTAIL FERN -  
ASPARAGUS AETHIOPICUS 'MYERSII'
-  BLUE WAVES -  
COTYLEDON ORBICULATA
-  ZOYSIA GRASS TENUIFOLIA

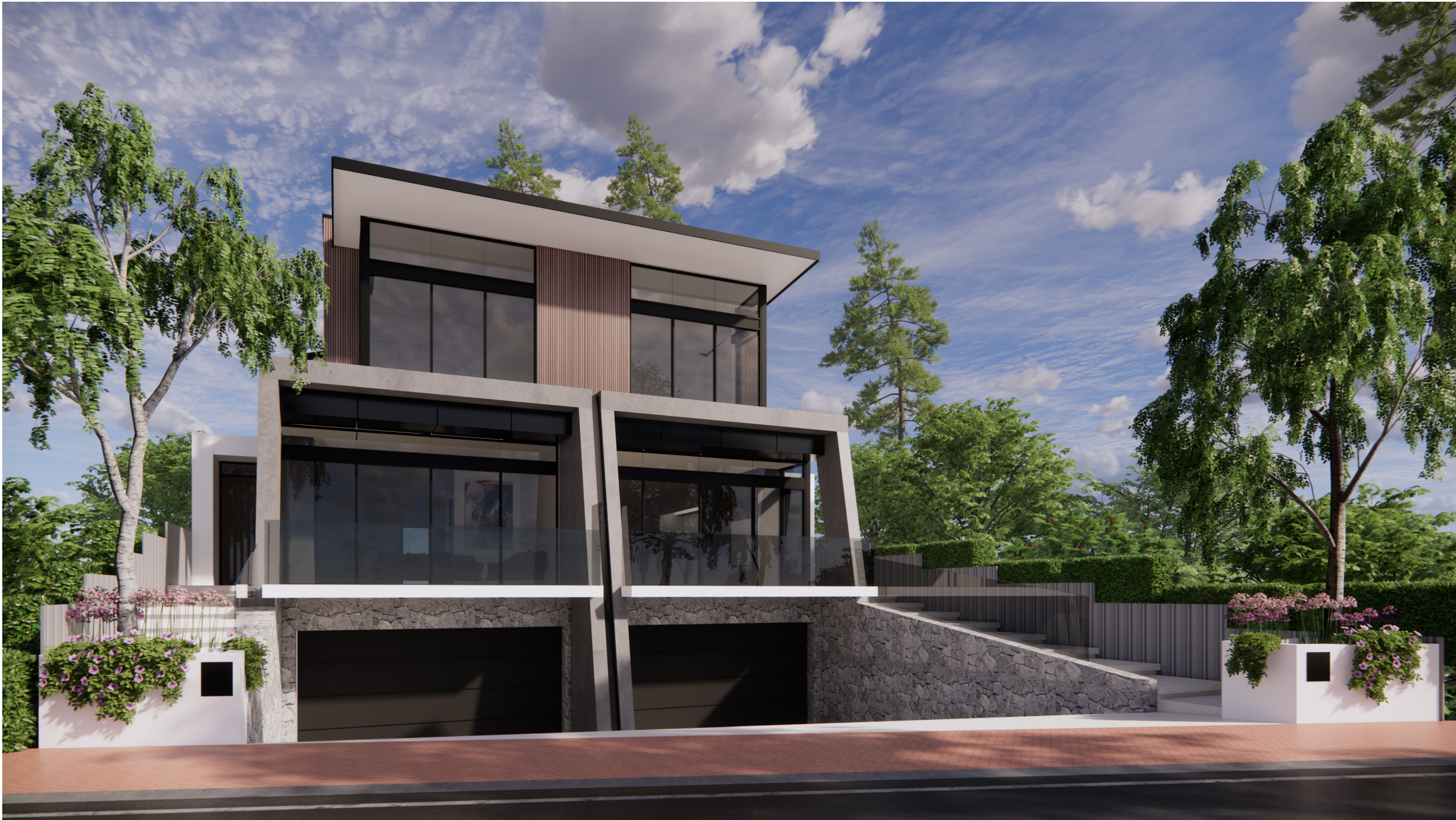


STREET ELEVATION  
SCALE 1:200

CITY OF HOLDFAST BAY  
AMENDED PLAN  
28/04/2023





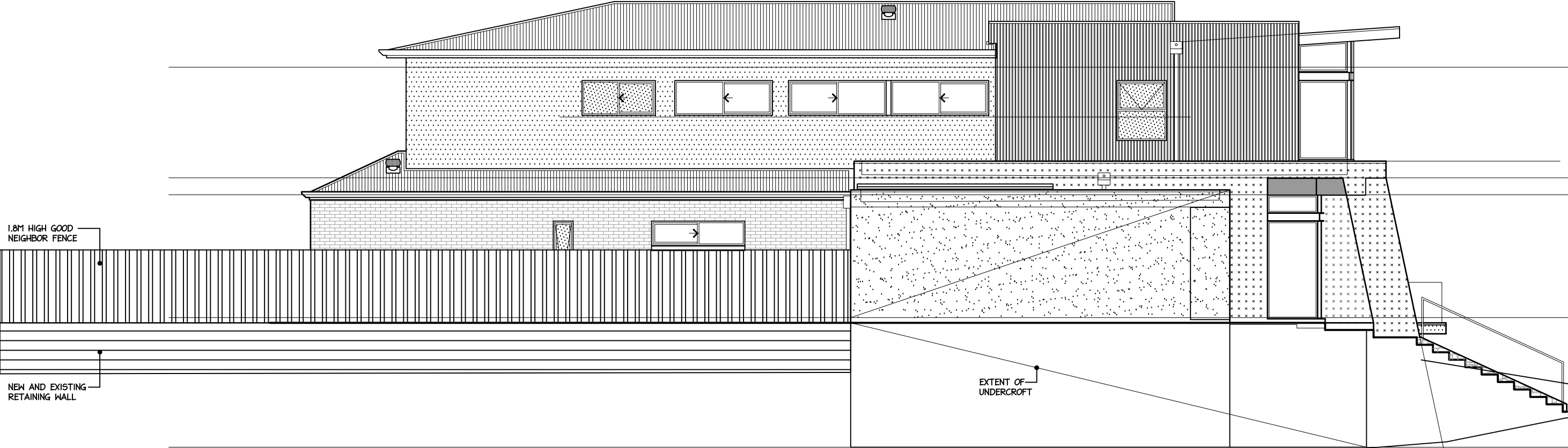


SCALZI RESIDENCE



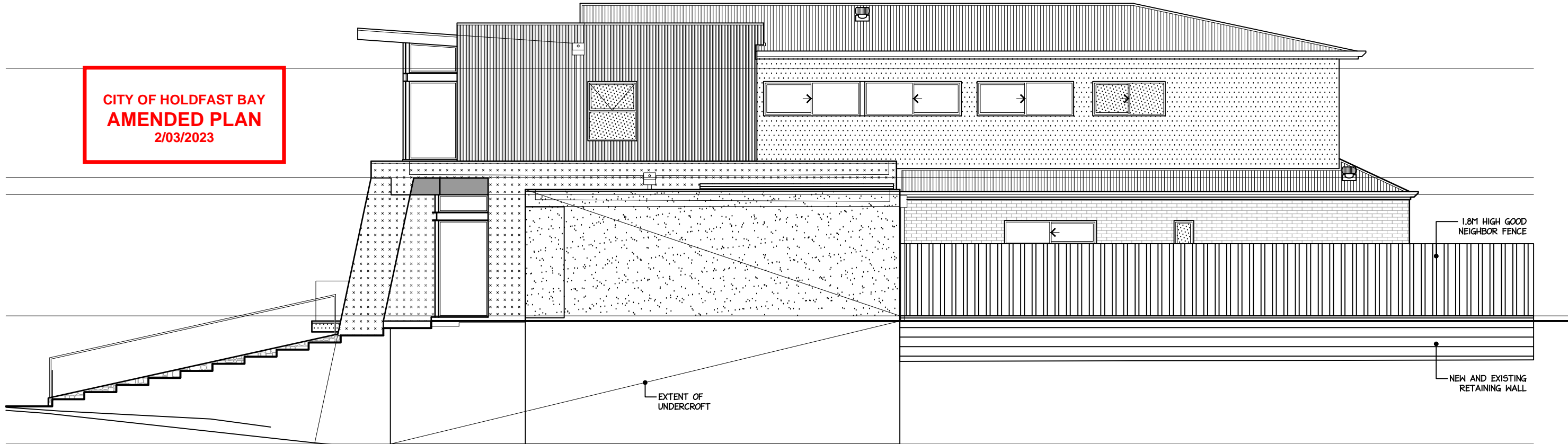
THIS IMAGE IS AN ARTIST IMPRESSION ONLY AND IS SUBJECT TO CHANGES THAT MAY BE REQUIRED FOR CONSTRUCTION





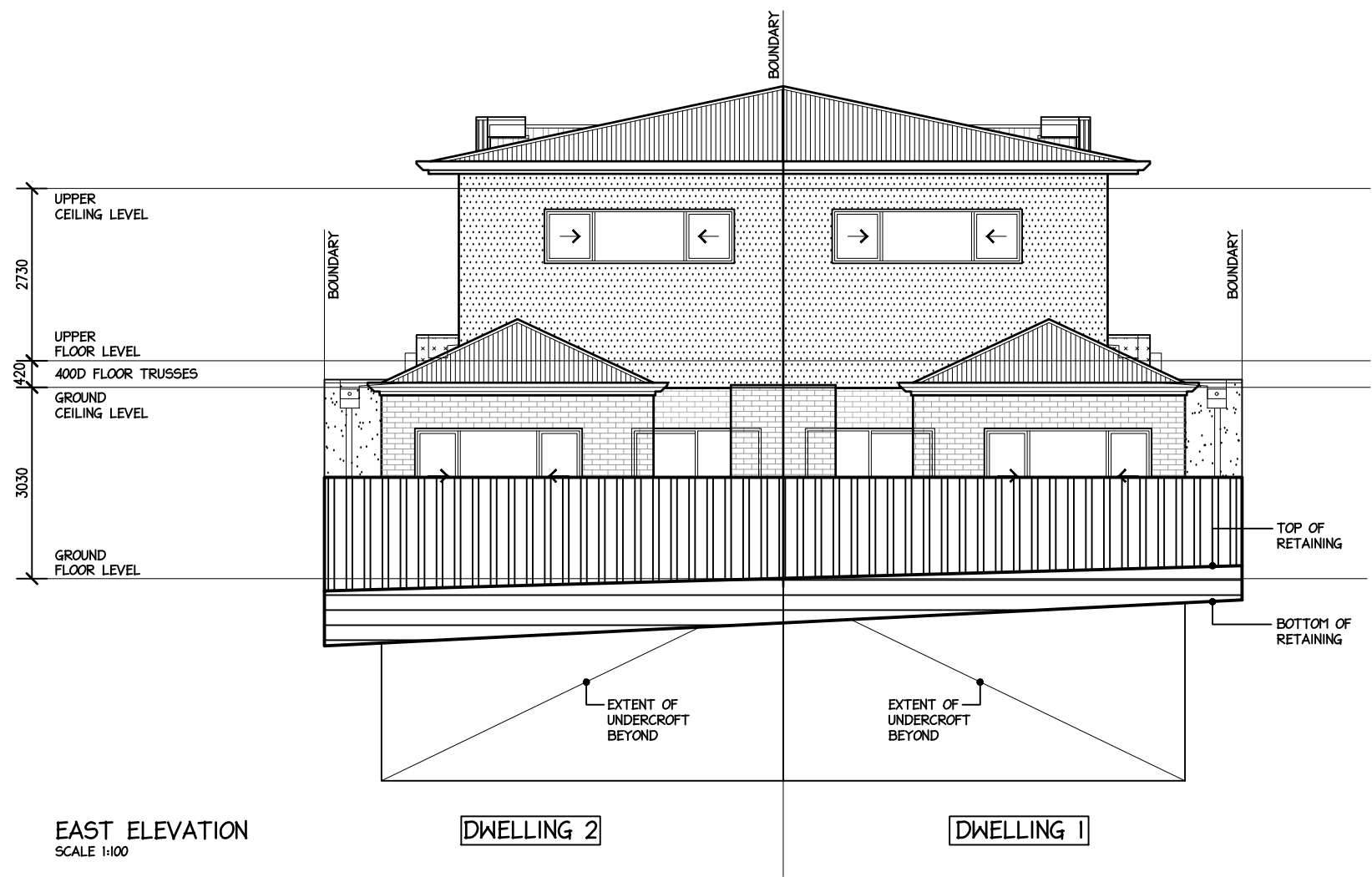
NORTH ELEVATION  
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DWELLING 1



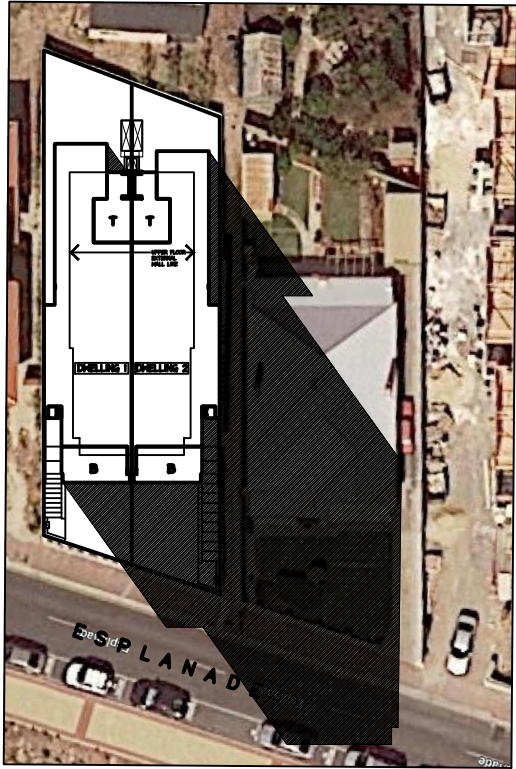
SOUTH ELEVATION  
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DWELLING 2

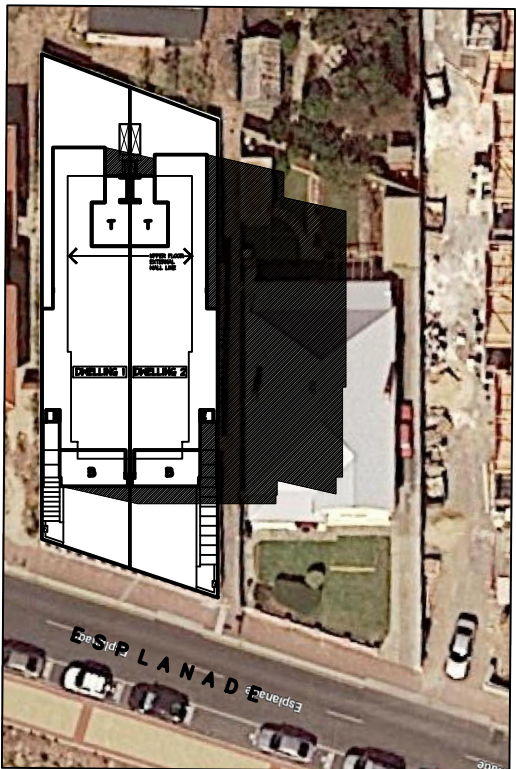


CITY OF HOLDFAST BAY  
AMENDED PLAN  
2/03/2023

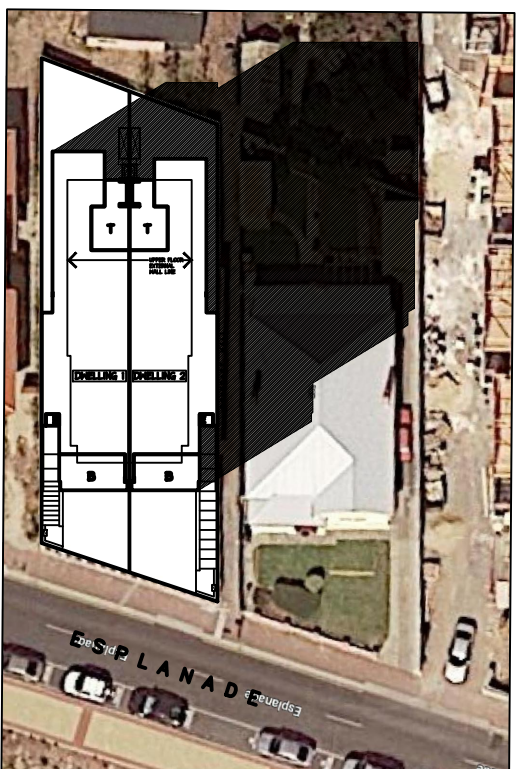
WINTER SOLSTICE - JUNE 21



9AM



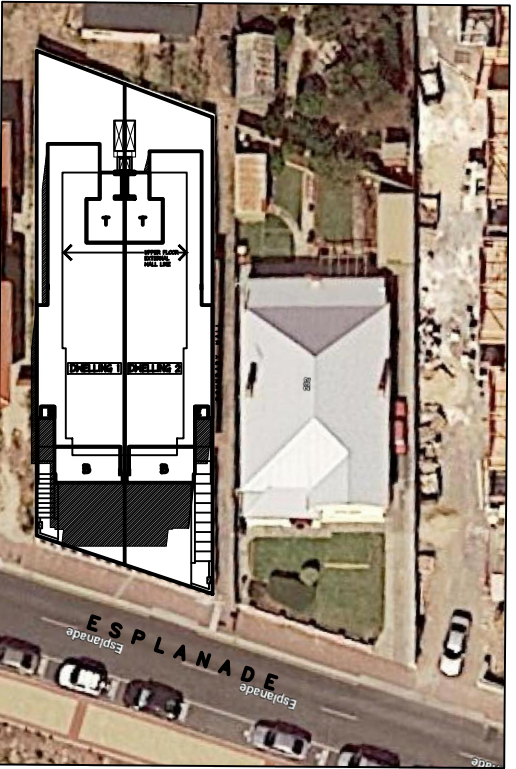
12NOON



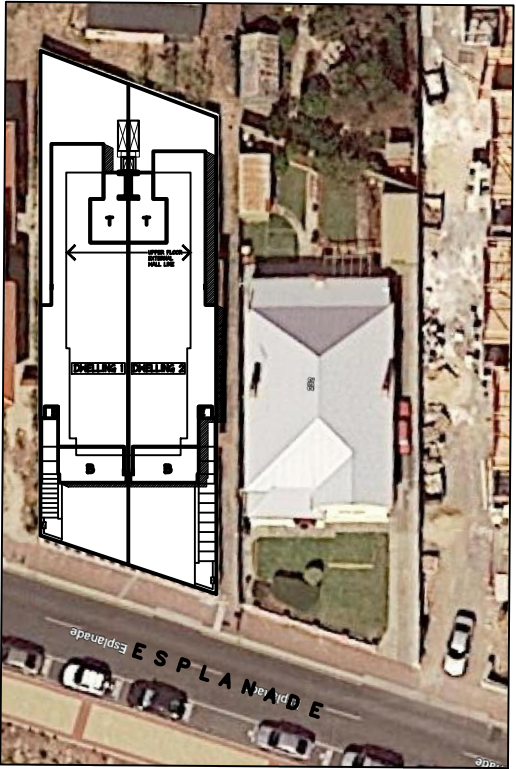
3PM

CITY OF HOLDFAST BAY  
AMENDED PLAN  
2/03/2023

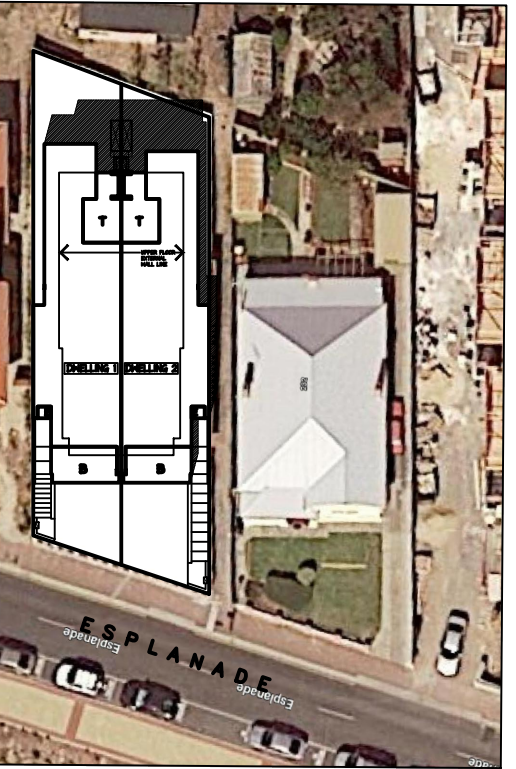
SUMMER SOLSTICE - DECEMBER 21



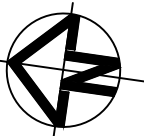
9AM



12NOON

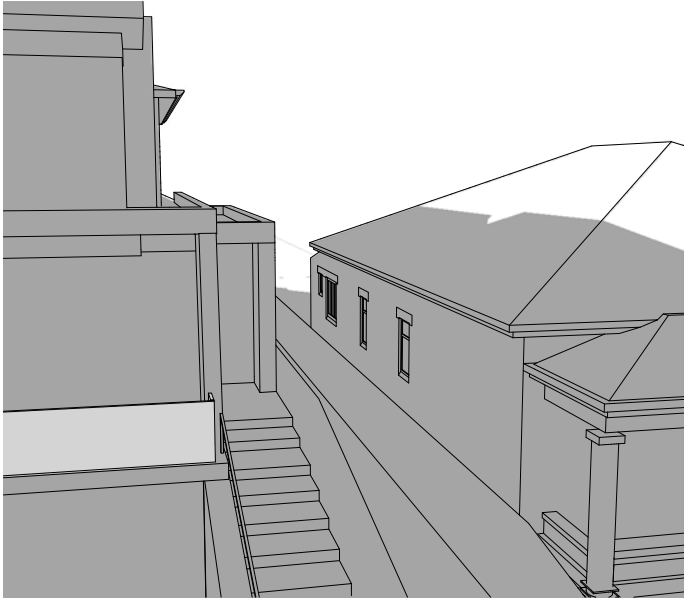


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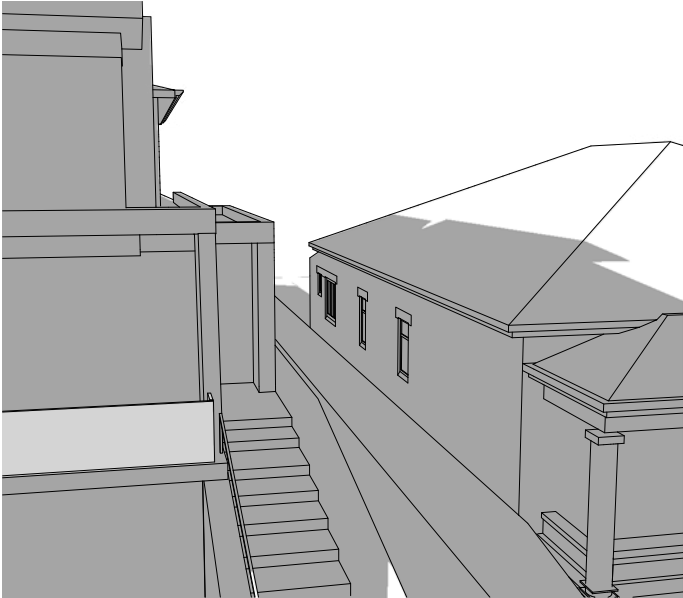


SHADOW DIAGRAM

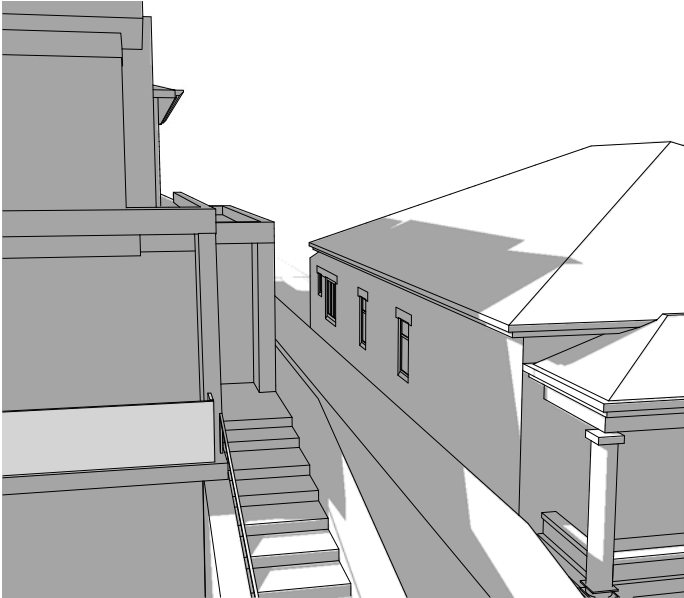




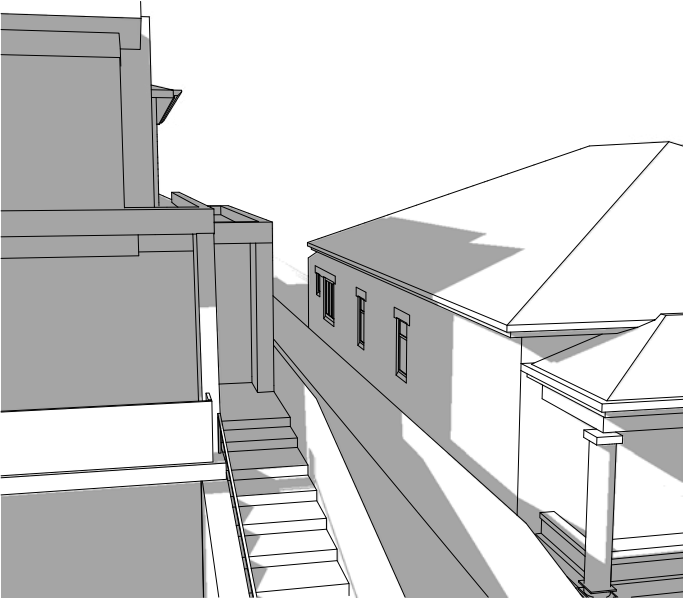
WINTER SOLSTICE (21 JUNE) - **9AM**



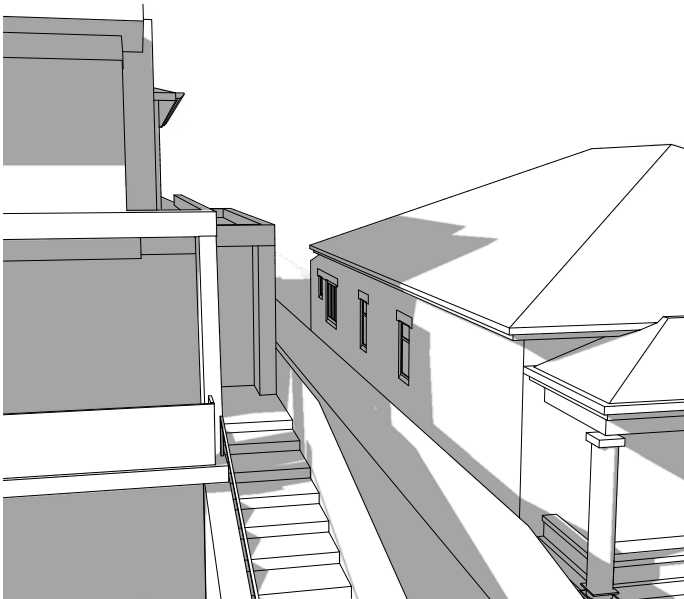
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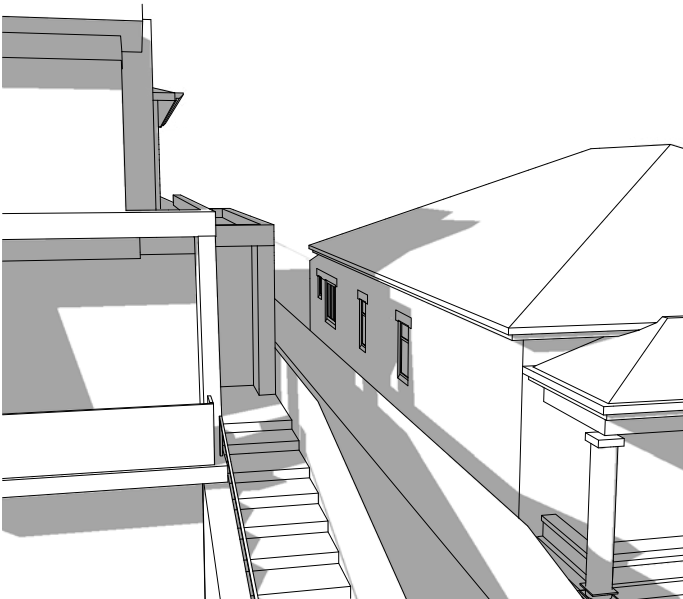
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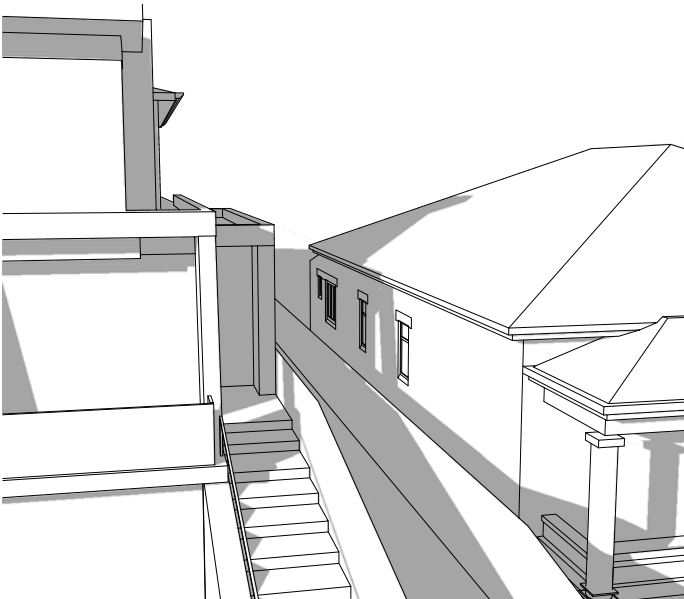
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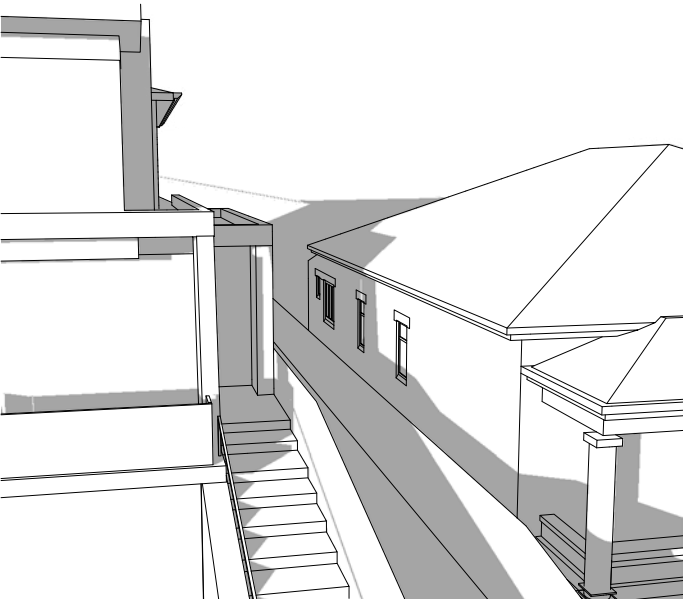
WINTER SOLSTICE (21 JUNE) - **1PM**



WINTER SOLSTICE (21 JUNE) - **2PM**



WINTER SOLSTICE (21 JUNE) - **3PM**



WINTER SOLSTICE (21 JUNE) - **4PM**

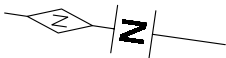
CITY OF HOLDFAST BAY  
AMENDED PLAN  
2/03/2023

**SHADOW ANALYSIS**  
231 Esplanade, Seacliff

JOB REF.	21ADL-1262
PREPARED BY.	MP
DATE.	02.03.23
REVISION.	1



A3



**SITE PREPARATION:**

- SITE TO BE FLOODED TO COLLAPSE THE SAND PROFILE BY MEANS OF SOAKING FOR FOUR HOURS PER NIGHT FOR THE FOUR NIGHTS PRIOR TO COMMENCING SITEWORKS.
- PAD TO BE PREPARED BY IMPORTING A MINIMUM OF 100mm WET QUARRY RUBBLE AND ROLLING/COMPACTING
- ANY IMPORTED FILL TO ACHIEVE BENCH AND PAVING LEVELS IS TO BE OF A NON-CLAY TYPE I.E. POROUS SILTY SAND/SANDY SILT SO AS NOT TO ALTER THE EXISTING NATURE OF THE ALLOTMENT SOIL PROFILE, FOR FOOTING DESIGN PURPOSES AND FOR DISSIPATION OF SURFACE STORMWATER AROUND THE DWELLING. IF THIS CANNOT BE ACHIEVED CONTACT THIS OFFICE FOR FURTHER ADVICE AS A REVISION OF THE FOOTING AND DRAINAGE DESIGN WILL BE NECESSARY.

**NOTE:**  
EXISTING RETAINING WALL & FENCE HAVE BEEN SHIFTED TO THE LEFT OFF THE COMMON NORTH BOUNDARY ON THIS PLAN FOR CLARITY OF NEW WORKS REQUIRED. WALL TO REMAIN IN ITS ACTUAL LOCATION ON SITE UNLESS RE ALIGNMENT/LOCATION IS NECESSARY. TO BE DETERMINED BY THE BUILDER/RELEVANT CONTRACTOR.

**NOTE:**  
PORTION OF EXISTING RETAINING WALL MAY NEED TO BE REMOVED TO CONSTRUCT GARAGE FOOTING & WALL ON BOUNDARY. MAKE GOOD EXISTING RETAINING WALL BOTH ENDS.

- NOTE:**
- STORMWATER PIPES UNDER STEPS TO BE 100% OR PROVIDE SLEEVE TO PVC PIPE.
  - STEP LOCATIONS AND SET UP ARE SCHEMATIC ONLY.
- (BY OWNER AFTER HANDOVER)

**NOTE: (DWELLING 1)**  
RELOCATE W/M FOR DRIVEWAY ACCESS.

**NOTE:**  
INSTALL A 125 SHS (ZINCALUME) x 4.0/5.0 THICK EPOXY GROUTED IN PLACE. BLEND TOP INTO EXISTING KERB HEIGHT BOTH SIDES TO COUNCIL GRADE CRITERIA.

**NOTE:**  
DOWNPIPE/RAINHEAD/SPREADER/RAINHEAD SPREADER LOCATIONS & DIAMETERS AS PER THE ARCHITECTURAL DRAWINGS. TO BE CONFIRMED BY THE BUILDER/BUILDING DESIGNER/ROOF PLUMBER/RELEVANT CHECKING AUTHORITY (NOT PART OF RCI CONSULTING ENGINEERS EXTENT OF DESIGN CONSIDERATION).

**SURVEY LEGEND**

- TEMPORARY BENCH MARK
- MAN HOLE
- TREE
- WATER METER
- STOBIE
- LIGHT POLE
- SEWER IP
- SAPN
- TELSTRA/COMM PIT
- NBN PIT
- ELECTRICAL PIT
- SIDE ENTRY PIT
- SWIP STORMWATER INSPECTION POINT

**NOTE:**  
RE-GRADE DRIVEWAY ACROSS VERGE AS SHOWN AND "BLEND IN" INTO EXISTING VERGE/FOOTPATH LEVELS TO COUNCIL GRADE CRITERIA.

**NOTE: (DWELLING 1)**  
SIP WAS LOCATED DURING THE LEVEL CONTOUR SURVEY HOWEVER AN INVERT LEVEL WAS NOT PROVIDED. BUILDER/BUILDERS PLUMBER TO CHECK AND CONFIRM GRAVITY FALL CAN BE ACHIEVED PRIOR TO COMMENCEMENT OF EARTHWORKS OR ANY COUNCIL APPROVALS ISSUED. WHERE FALL CAN NOT BE ACHIEVED WITH THE PROPOSED FLOOR LEVEL, CONTACT THIS OFFICE IMMEDIATELY FOR REVISED LEVELS.

**NOTE:** THIS SURVEY HAS BEEN SURVEYED TO AHD (AUSTRALIAN HEIGHT DATUM)

**IMPORTANT NOTE:**  
EXTEND DRIVEWAY RETAINING WALL 75mm ABOVE ADJACENT PATH WAY TO DIRECT SURFACE STORMWATER TO THE FRONT BOUNDARY.

**IMPORTANT NOTE:**

RETAINING WALL HEIGHTS/EXTENTS IN RELATION TO PERIMETER PAVING SETUP AND FL/BL's ARE SUBJECT TO CHANGE/ADJUSTMENT PENDING FINAL POST DEMOLITION LEVELS. RETAINING WALLS MAY BE REQUIRED WHERE NONE ARE SHOWN.

**NOTE:**

REFER TO THE CSIRO DOCUMENT FOR THE EXTENT OF IMPERMEABLE TYPE PAVING RECOMMENDED TO BE PLACED AROUND THE PERIMETER OF A DWELLING. REFER ALSO TO THIS DOCUMENT IN REGARDS TO THE PLANTING OF TREES/EXISTING TREES TO BE KEPT AND SOIL MODIFICATION (DEEP SOIL ZONES) NEAR THE PROPOSED AND POSSIBLE ADJACENT FOOTING SYSTEMS.

**SITEWORKS PLAN**

(THIS PLAN IS TO BE READ IN CONJUNCTION WITH SITEWORKS NOTES - SHEET 2 OF 2)

**NOTE:**

RETAINING WALL CONTRACTOR TO LIAISE WITH DEMOLITION/EARTHMOVING CONTRACTOR/BUILDER PRIOR TO ANY WORKS PROCEEDING IN RELATION TO CONSTRUCTION STAGING OF NEW RETAINING WALL ADJACENT EXISTING. (PROPPING OF EXISTING RETAINING WALL MAY BE NECESSARY ONCE SITE CUT HAS BEEN COMPLETED). PROPOSED RETAINING WALLS TO BE DESIGNED SO AS NOT TO SURCHARGE EXISTING WALLS. NOT PART OF RCI CONSULTING ENGINEERS EXTENT OF DESIGN CONSIDERATION.

**NOTE:**  
EXISTING RETAINING WALL & FENCE HAVE BEEN SHIFTED TO THE RIGHT OFF THE COMMON SOUTH BOUNDARY ON THIS PLAN FOR CLARITY OF NEW WORKS REQUIRED. WALL TO REMAIN IN ITS ACTUAL LOCATION ON SITE UNLESS RE ALIGNMENT/LOCATION IS NECESSARY. TO BE DETERMINED BY THE BUILDER/RELEVANT CONTRACTOR.

**NOTE:**  
SHORING OMITTED FOR CLARITY. (REFER TO STRUCTURAL CALCULATIONS)

**CITY OF HOLDFAST BAY  
AMENDED PLAN  
2/03/2023**

**NOTE:**

IF STORMWATER DRAIN PIPE COVER ACROSS COUNCIL VERGE IS NOT ACHIEVED, PROVIDE A 3.0mm THICK ALUMINIUM CHEQUER PLATE "TOP HAT" SECTION ABOVE PIPE FOR PROTECTION AND ANTI SLIP MEASURES. BLEND TOP INTO EXISTING VERGE LEVELS AS REQUIRED TO COUNCIL GRADE CRITERIA.

**NOTE: (DWELLING 2)**

LOCATE & CONNECT SEWER DRAIN TO NEW SIP. CONNECTION TO BE AS PER SA WATER STANDARD DETAILS. BUILDER/BUILDERS PLUMBER TO CHECK DEPTH OF SEWER CONNECTION AND ENSURE ADEQUATE GRAVITY FALL CAN BE ACHIEVED PRIOR TO COMMENCING EARTHWORKS OR ANY COUNCIL APPROVALS BEING ISSUED. REFER ANY CHANGES TO PROPOSED BENCH LEVEL TO THIS OFFICE FOR VERIFICATION PRIOR TO COMMENCING SITE CUT.

TITLE:

**SITEWORKS PLAN**

ADDRESS:

No. 231 ESPLANADE  
SEACLIFF

CLIENT:

SCOTT SALISBURY HOMES

**Residential  
Commercial  
Industrial  
Consulting Engineers**  
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JOB No.

**C33467-68**

SHEET No.

1 of 2

ISSUE No.

C

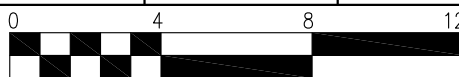
DRAWN :

DESIGN:

D.A.

DATE:

6-May-22



SCALE 1:200

METRES

No.	REVISION	BY	DATE
A.	RESURVEY TO AHD	D.A.	20.12.22
B	NEW DRAWINGS - SETBACKS, STEPS / RFI - ADDITIONAL LEVELS SHOWN / FOR CONSTRUCTION SUBJECT TO APPROVAL	J.H	09.02.23
C	ADDITIONAL NEW RETAINING HEIGHTS ADDED	J.H	14.02.23

**GENERAL NOTES:**

SITEWORKS & STORMWATER DRAINAGE TO BE CONSTRUCTED BY THE OWNER OR THE OWNERS REPRESENTATIVE (I.E. THE BUILDER WHERE STATED WITHIN THE BUILDING CONTRACT). THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH THE FOOTING CONSTRUCTION REPORT & ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THIS OFFICE IMMEDIATELY PRIOR TO WORKS PROCEEDING.

**SOIL CLASSIFICATION:**

S/M-D

- 10mm THICK LAGGING AROUND STORMWATER AND SEWER DRAIN PENETRATIONS THROUGH ALL FOOTINGS
- FLEXIBLE CONNECTIONS IN SEWER & STORMWATER DRAINS NOT REQUIRED

**BENCH:**

BUILDING AREA TO BE BENCHED TO 200mm BELOW THE FINISHED FLOOR LEVEL.

GRADE SITE AWAY FROM HOUSE AS FOLLOWS:-

- GRADE PAVED AREAS 25mm IN 1000mm
- GRADE GRASSED AREAS 5mm IN 1000mm

**IMPORTANT NOTE:**

TO ASSIST IN AVOIDING A "DOWNHILL" MOVEMENT OF FILL ONCE IT HAS BEEN PLACED, A SERIES OF HORIZONTAL BENCHED PLATFORMS SHOULD BE EXCAVATED INTO THE GROUND WHEN THE EXISTING SLOPE IS 1 IN 8 OR GREATER. THIS BENCHING SHOULD BE UNDERTAKEN OVER THE ENTIRE AREA WHERE FILLING IS TO OCCUR.

**SEWER:**

SEWER DRAIN RUN TO BE DETERMINED BY THE BUILDERS PLUMBER (NOT PART OF RCI CONSULTING ENGINEERS EXTENT OF DESIGN CONSIDERATION).

TOP OF FLOOD GULLY AND PAVING AROUND FLOOD GULLY TO BE CONSTRUCTED 150mm BELOW THE LOWEST FIXTURE CONNECTED TO THE DRAIN.

**STORMWATER:**

GRAVITY FLOW STORMWATER SYSTEM IS TO BE LAID @ 1 IN 250 MIN GRADE WITH 100mm MIN COVER EXCEPT AS NOTED BELOW UNDERSIDE OF PAVING:-

- 50mm (SUBJECT TO PEDESTRIAN TRAFFIC)
- 100mm (SUBJECT TO LIGHT VEHICULAR TRAFFIC)
- 450mm (UNPAVED DRIVEWAYS)

WHERE COVER CANNOT BE ACHIEVED ENCASE DRAIN PIPE WITHIN A CHS GALV. STEEL SLEEVE OF THICKNESS:

- 3.0mm (SUBJECT TO PEDESTRIAN TRAFFIC)
- 5.0mm (SUBJECT TO LIGHT VEHICULAR TRAFFIC)

**SURVEY:**

THIS IS NOT A BOUNDARY SURVEY. THEREFORE THE RELATIONSHIP BETWEEN OCCUPATION AND THE PLOTTED BOUNDARY IS INDICATIVE. LEVELS ARE BASED ON A TEMPORARY DATUM (UNO). THE DATUM (SHOWN ON THIS PLAN) IS TO BE LOCATED PRIOR TO COMMENCING SITEWORKS.

**DESIGN LEGEND**

- 250 SQUARE x 285 DEEP "RELN" RAINWATER PIT (PVC), (SERIES 250) OR SIMILAR (U.N.O.)
- GRATED SURFACE STORMWATER DRAIN 900 (U.N.O.)
- STORMWATER DRAIN PIPE (GRAVITY FLOW) - 900 PVC (U.N.O.) AT 1 IN 250 (0.40%) MIN FALL (U.N.O.) EXCEPT ON SEALED SYSTEM
- STORMWATER DRAIN PIPE (SEALED SYSTEM) - 900 PVC (U.N.O.)
- 900 AGRIC DRAIN (U.N.O.). CONNECT INTO TOP OF GRAVITY FLOW STORMWATER DRAIN PIPE.
- INTERNAL SEWER DRAIN LOCATION (TO BE CONFIRMED BY BUILDER)
- SEWER PIPE 1000 @ 1.65% MIN (1 IN 60)
- TOP OF BATTER
- BOTTOM OF BATTER
- EXISTING TREES AND STRUCTURES ON SITE TO BE DEMOLISHED/REMOVED BY OWNER PRIOR TO CONSTRUCTION. UNLESS OTHERWISE STATED.

A4

**NOTES:**

ANY SURPLUS SPOIL FROM SITEWORKS IS THE OWNERS RESPONSIBILITY AND SHOULD BE REMOVED OR DISPERSED AS APPROPRIATE, UNLESS STATED OTHERWISE IN THE BUILDING CONTRACT. THIS SPOIL SHOULD BE STOCKPILED SUCH THAT IT DOES NOT OBSTRUCT SITE ACCESS AND CAN BE EASILY REMOVED FROM THE SITE

ANY RETAINING WALLS SHOWN ON THIS PLAN ARE TO BE CONSTRUCTED BY THE OWNER EXCEPT WHERE THE RETAINING WALL FORMS PART OF THE BUILDING STRUCTURE OR WHERE SPECIFIED OTHERWISE WITHIN THE BUILDING CONTRACT.

**RETAINING WALLS ADJACENT EXCAVATIONS, A SERVICE TRENCH/EASEMENT (PROPOSED OR EXISTING) OR IF FOUND IN FILL SHOULD HAVE AN UNDERMINING COMPONENT INCORPORATED IN THE DESIGN OF THEIR FOOTING/PIER SUPPORT SYSTEM.**

OWNER TO RETAIN ANY MINOR CUT/FILL ON THE BOUNDARIES WITH A CONCRETE PLINTH, SLEEPER OR SIMILAR.



: 3.0 KILOLITRE COMBINATION RETENTION/DETENTION TANK (2.0 KILOLITRES FOR RETENTION AND 1.0 KILOLITRE FOR DETENTION – BY OWNER/BUILDER – REFER BUILDING CONTRACT). RETENTION SECTION OF TANK TO BE PLUMBED TO ONE WC AND EITHER THE WATER HEATER OR ALL LAUNDRY COLD WATER OUTLETS AND SHALL ALSO BE LOOPED INTO THE MAINS WATER SYSTEM. WHERE A RWT IS SUPPORTED ON A STAND OR OTHER STRUCTURE, THE SUPPORTING STRUCTURE MUST COMPLY WITH AS/NZ 1170.1 AND 1170.2. ROOF GUTTER HEIGHT IN RELATION TO TANK INLET HEIGHT MAY NEED TO BE TAKEN INTO CONSIDERATION.

REFER TO TANK SUPPLIER FOR SET-UP (20mm–25mmØ SLOW RELEASE ORIFICE AT THE BOTTOM OF THE DETENTION COMPONENT OF THE TANK)

— — — : STORMWATER DRAIN PIPES AS A SEALED SYSTEM USED TO CONNECT [DP1] TO [DP5] TO THE TANK (MINIMUM 60% OF ROOF AREA). REFER TO FOOTING CONSTRUCTION REPORT ATTACHMENT SHEET SS1.

— · · — : STORMWATER DRAIN PIPES UNDER GRAVITY FLOW USED TO CONNECT TANK OVERFLOW/ORIFICE PIPE, SURFACE STORMWATER DRAIN PIPES & DP's NOT CONNECTED TO THE TANK TO THE STREET WATER TABLE.



: DRIVEWAY PIT/PUMP CHAMBER. PUMP TO HAVE DISCHARGE RATE OF 2.0 L/s AND AN ACTUAL PIT VOLUME OF 2.00m<sup>3</sup>. PIT VOLUME MAY NEED TO BE INCREASED TO ACCOMMODATE PUMP(S) SETUP AND HIGH/LOW LEVEL SENSORS – REFER TO THE SUPPLIER AND ALSO TO AS/NZS 3500.3:2018. COUNCIL/PRIVATE CERTIFIER TO CONFIRM THE BELOW CRITERIA AND/OR ANY ADDITIONAL REQUIREMENTS PRIOR TO ANY APPROVALS BEING ISSUED.

- TWO PUMPS SHALL BE PROVIDED, EACH CAPABLE OF THE DESIGN FLOW RATES.
- THE PUMPS SHALL BE CONFIGURED TO AUTOMATICALLY ALTERNATE AS THE DUTY PUMP.
- THE DUTY PUMP SHALL BE CONFIGURED TO AUTOMATICALLY REVERT TO THE ALTERNATE PUMP & A VISIBLE ALARM BE INITIATED IN THE EVENT THAT THE DUTY PUMP FAILS.
- IN THE EVENT THAT BOTH PUMPS FAIL TO OPERATE, AN AUDIBLE ALARM SHALL BE INITIATED.

• PUMPS TO HAVE A "BACK-UP" POWER SUPPLY

(---> --->) DESIGNATES RISING MAIN TO FRONT SUMP/STREET WATER TABLE WHICH EVER APPLICABLE – REFER TO PLAN.

ENSURE GRAVITY FLOW PIPES MAINTAIN SUFFICIENT GRADE TO MEET THE APPROPRIATE OUTLET AS SHOWN ON THIS PLAN. CONSTRUCT ANY SEALED SYSTEM PIPES SUCH THAT THEY DO NOT INTERFERE WITH THE GRAVITY FLOW SYSTEM.

WHERE GRATED SURFACE STORMWATER SUMPS ARE USED GRADE SOIL/PAVING IN TOWARDS SUMPS IN ACCORDANCE WITH THE "BENCH" NOTES ON THIS PAGE. ALTERNATIVELY CONSTRUCT LINED SPOON DRAINS WITH 0.30% GRADIENT AS PER THE DETAILS ON ATTACHMENT SHEET PD1.

SUMP SIZES AND QUANTITY SHOWN ARE RECOMMENDED AS A MINIMUM. LOCATIONS AND SIZES MAY BE ALTERED AT THE DRAIN AND PAVING CONTRACTORS DISCRETION DEPENDING ON AREAS THEY SERVICE AND PAVEMENT TYPE USED.

TITLE:

**SITEWORKS NOTES**

ADDRESS:

No. 231 ESPLANADE  
SEACLIFF

CLIENT:

SCOTT SALISBURY HOMES

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JOB No.

**C33467-68**

SHEET No.

2 of 2

ISSUE No.

**C**

DRAWN :

-

DESIGN:

D.A.

DATE:

6-May-22



SCALE 1:200

METRES

No.	REVISION	BY	DATE
A.	RESURVEY TO AHD	D.A.	20.12.22
B	NEW DRAWINGS – SETBACKS, STEPS / RFI – ADDITIONAL LEVELS SHOWN / FOR CONSTRUCTION SUBJECT TO APPROVAL	J.H	09.02.23

**SITEWORKS NOTES**

(THESE NOTES ARE TO BE READ IN CONJUNCTION WITH SITEWORKS PLAN – SHEET 1 OF 2)

**CITY OF HOLDFAST BAY  
AMENDED PLAN  
2/03/2023**

**KEY**

TK	TOP OF KERB
WT	WATER TABLE
BL	BENCH LEVEL
FL	FLOOR (POURED) LEVEL
FFL	FINISHED FLOOR LEVEL (ie. tiled/paved/decking level)
Ø	DIAMETER
≈	APPROXIMATE
RD	ROLLER DOOR REBATE
DW	DRIVEWAY
(EX)	EXISTING
RWT	RAINWATER TANK
DPO	DOWNSPIPE
RH	RAINWATER HEAD
SP	SPREADER PIPE
RHSP	RAINWATER HEAD SPREADER PIPE
⊙	SCREW CAP STORMWATER INSPECTION POINTS IN GRAVITY FLOW/SEALED SYSTEM SW RUN (AS A MINIMUM) TO FINISHED PAVING/GROUND LEVELS (PROVIDE PROPRIETARY CONCRETE SURROUND AND LID WHERE FOUND IN DRIVEWAY).
SC	GRATED STRIP CHANNEL & SUMP
BRICK	BRICK RETAINING WALL
RTW	RETAINING WALL
CONCRETE	CONCRETE SLEEPER RETAINING WALL
CONCRETE	CONCRETE PLINTH AS REQUIRED OR SIMILAR (H≈0.10m)
FGL	FINISHED GROUND LEVEL
—	FINISHED LEVEL