

DEVELOPMENT NO.:	22037359
APPLICANT:	Metricon Homes Pty Ltd
ADDRESS:	4 GURRS RD BRIGHTON SA 5048
NATURE OF DEVELOPMENT:	Two storey detached dwelling
ZONING INFORMATION:	Zones: <ul style="list-style-type: none"> Established Neighbourhood Overlays: <ul style="list-style-type: none"> Airport Building Heights (Regulated) Affordable Housing Character Area Prescribed Wells Area Regulated and Significant Tree Stormwater Management Urban Tree Canopy Technical Numeric Variations (TNVs): <ul style="list-style-type: none"> Minimum Frontage (Minimum frontage for a detached dwelling is 14m; semi-detached dwelling is 14m) Minimum Site Area (Minimum site area for a detached dwelling is 600 sqm; semi-detached dwelling is 600 sqm) Maximum Building Height (Levels) (Maximum building height is 1 level)
LODGEMENT DATE:	7 Nov 2022
RELEVANT AUTHORITY:	Assessment panel
PLANNING & DESIGN CODE VERSION:	22 October 2022 2022.20
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Dean Spasic Development Officer - Planning

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APPENDIX 1: Relevant P&D Code Policies	ATTACHMENT 2: Representations
ATTACHMENT 1: Application Documents	ATTACHMENT 3: Response to Representations

SUBJECT LAND & LOCALITY:

Description of Development:

The proposal comprises the construction of a two storey detached dwelling with integrated garage and verandah. The built form reflects a conventional two storey dwelling, with high solid to void ratio, vertical proportion. The dwelling has a hipped colorbond roof pitched at 22.5 degrees and walls are a combination of brick and render. A section of walling further behind the façade comprises cladding in the style of weatherboards vertically aligned.

There is some screen/slatted style cladding to the top of walls, which provides some modern detailing and the garage door is a panel lift.

Site Description:

Location reference: 4 GURRS RD BRIGHTON SA 5048

Title ref.: CT 5117/672 **Plan Parcel:** D2670 AL11 **Council:** CITY OF HOLDFAST BAY

The subject site is a rectangular shaped allotment of 504 square metres with a 15.24 metre frontage. The existing dwelling is a single storey detached dwelling constructed in 1993 but then in 2011 the façade was altered resulting in a front verandah with columns as posts and parapet roof. The existing dwelling does not incorporate any design elements that complement the Character Area Statement.



EXISTING DWELLING

Locality

The surrounding locality is characterised by the 1900 to 1930s housing stock which forms the Brighton Character Area. There are however, a good number of dwellings from the 1960s to present, which contribute to some pockets, such as Gurrs Road, as not having as strong built form character as what is found along Dunluce Avenue, Yester Avenue and Athelney Avenue, which are the stronger examples.

South-West of the site is the car park for the Esplanade Hotel, and further south is Jetty Road, which contains a number of shops and cafes.



CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:** New housing
Detached dwelling: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
Code Assessed - Performance Assessed
- **REASON**
P&D Code

PUBLIC NOTIFICATION

- **REASON**
More than 1 level

Summary of Representors			
Address of Representor	Position	Wish to be heard	Concerns
23 Dunluce Avenue, Brighton	Oppose	No	Fencing Removal of existing shed from 4 Gurrs Road Visual privacy Non-protected palm trees should be retained Swimming pool and pool pump

Summary of Representors			
Address of Representor	Position	Wish to be heard	Concerns
7A Gurrs Road, Brighton	Oppose	No	Dwelling will destroy our sea views and sunsets Significantly destroy our privacy
7 Gurrs Road, Brighton	Support	Yes	Request existing street trees are retained Car parking on Gurrs Road Construction noise and timeframes
6 Gurrs Road, Brighton	Oppose	No	Proposed dwelling to the north and will compromise north facing windows and solar panels

The applicant submitted a reply to Representations (Attachment) prepared by URPS which sought to address the concerns raised by neighbours. Of the concerns that relate to the planning assessment, the response is summarised as follows:

- **Overshadowing:** The proposed building setback is within the parameters set by DPF 8.1, whereby a minimum setback of 2.87 metres is required and a setback of 2.9 metres is proposed. The proposal is also considered to satisfy DPF 3.1, 3.2 and 3.3. in that adequate sunlight is delivered to neighbouring properties during the winter solstice between 9am and 3pm and solar panels, with additional regard given to the fact that the existing development on the site comprises substantial boundary development, up to 4 metres in height;
- **Overlooking:** the proposed development mitigates overlooking by way of incorporating obscured glazing of side and rear windows to a height of 1.5 metres above the floor level. The representor lives across the road, whereby the Code does not protect views into the public realm (i.e. front windows and yards of neighbouring properties);
- **Impact on Views:** Whilst the proposed dwelling may interrupt some of the views currently enjoyed, the representors dwelling sits higher than the proposed building. Critically, there are no provisions in the Established Neighbourhood Zone that reference the protection of views; and
- **Car Parking:** The proposal provides 2 undercover and 1 within the driveway, which is a surplus of car parking required for a detached dwelling (minimum 2 spaces).

PLANNING ASSESSMENT

Assessment Table

	Proposed	DPF Requirement	Achieved
Site Area	504 square metres	300 square metres	Existing
Frontage	15.24 metres	9 metres	Existing
Building Height	2 levels	1 level	No
Front Setback	4 metres	2 metres	Yes
Rear Setback	5 metres from ground level and 10.1 metres from upper level	4 metres at ground level and 6 metres at upper level	Yes

	Proposed	DPF Requirement	Achieved
Side Setbacks	Garage wall on boundary 3 metres high x 6.6 metres length	Maximum wall height 3 metres x maximum wall length 11.5 metres	Yes
	Ground level wall height 2.6 metres setback 1.4 metres + from side boundaries	Minimum side setback 900mm	Yes
	Upper level wall height 5.9 metres Setback 2.1 metres + from northern side boundary	Minimum setback 1.8 metres.	Yes
	Upper level wall height 5.9 metres setback 2.75 metres + from southern side boundary	Minimum setback 2.8 metres	Yes
Site Coverage	54%	60%	Yes
Private Open Space	134 %	60 square metres	Yes
Soft Landscaping	22% of the site area	2 % of the site area	No
Front Yard Landscaping	44%	30%	Yes
Tree Planting	1 tree to the front of the dwelling Conditioned accordingly.	1 medium tree	Yes

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

Built form and Character of Locality

The proposed built form comprises a modern two storey detached dwelling with colorbond hipped roofing pitched to 22.5 degrees, brickwork, render and Sycon Axon cladding to walls, parapets, a garage door and glazing. The façade demonstrates a higher solid to void ratio.



The site is located in the Established Neighbourhood Zone, Brighton Character Area. The Character Area Statement references the locality as being defined by housing stock from the 1900 to 1930s comprising medium to large sized allotments with single storey dwelling styles including Federation, Inter-War and some Post-War. There is a high degree of modulation and articulation, low scale, steep roof pitches in the order of 25 to 35 degrees, short roof span,

hip and gable roof forms, deep verandahs and porches, fine grain detail in elements such as plinths, string courses and projecting sills, high solid to void ratio, vertical proportions to windows and doors. Garages and carports are low in scale and usually to the side or rear, setback from the front façade. Materials typically comprise corrugated iron or terracotta tile roofing, brick, stone, timber and part rendered finishes, and dark coloured fenestration, doorways, windows, eaves and roofs.

The proposed building is considered to reflect a modern built form, whilst having some elements that complement the Character Area Statement, such as the high solid to void ratio, some articulation, deep porch, hipped roof form and vertical proportions to windows and doors. Materials comprise colorbond roofing and brick and rendered walls, which is consistent with the Character Statement.

It is noted however, that the building exceeds single storey, the roof pitch is below 25 degrees (22.5 degrees), and an absence of any fine grain detail in elements such as plinths, string courses and projecting sills.

It is noted that there is a number of newer housing forms, particularly along Gurrs Road, which has diminished the predominant character that is typically more prevalent along Dunluce Avenue, Yester Avenue and Athelney Avenue. The form of the proposed building is considered to visually reflect a balance of taking cues from both newer housing styles as well as some regard to the Character Area Statement.

There are 17 dwellings that are directly adjacent to Gurrs Road. Of those 17, only 2 dwellings are considered to have architectural features that are consistent with the Brighton Character Area Statement (both of which are two storey):



Buildings throughout the Zone are typically characterised by low scale, single storey dwellings, steep roof pitches, hip and gable roof forms, high degree of modulation and articulation, fine-grain detail in elements such as plinths, string courses and projecting sills, high solid to void ratio and vertical proportions to windows and doors, however, along Gurrs Road, it is noted that of the 17 dwellings that are directly adjacent to the road, 9 are two storey, hence 52 percent of the buildings are not reflective of the low scale, single storey built form envisaged by the Zone. Further, the newer housing stock comprises temporary architecture, with 19 Dunluce Avenue, 54 Jetty Road and 2A, 7 and 7A Gurrs Road, in particular not having architectural elements that are consistent with the character described in the Brighton Character Area Statement.

When considering Performance Outcome 4.1, with respect to Building Height, the zone seeks to achieve buildings that contribute to the prevailing character of the neighbourhood whilst *complementing the height of nearby buildings*.

When having regard to the prevailing character across the zone, it is acknowledged that single storey building height is ideal, however, as the Performance Outcome directs, regard must also be given to the height of nearby buildings, of which 53 percent along Gurrs Road comprise two storey form. On balance, the proposed building height is considered to be reasonable, complementary and in context with the built form found along Gurrs Road.

Boundary Setbacks

As referenced in the assessment table, the building has suitable setbacks to the front, side and rear boundaries, whereby it satisfies Performance Outcomes 5.1, 7.1, 8.1 and 9.1 along with the associated Designated Performance Features.

Site Coverage and Private Open Space

Site coverage (54 percent) and private open space (134 square metres) each satisfy the respective Performance Outcomes and Designated Performance Features (3.1 and Design in Urban Areas Table 1)

Soft Landscaping

Performance Outcome 22.1 requires soft landscaping be incorporated into the development in order to contribute to minimising heat absorption and reflection, shade and shelter, stormwater infiltration and biodiversity and enhance the appearance of land and streetscapes. A tree is referenced in the front yard (which will be conditioned accordingly) and soft landscaping amounts to 22 percent of the site area.

The relevant Designated Performance Features seeks a minimum of 25 percent for a 504 square metres allotment, however on balance the amount of landscaping referenced on the plan is considered to be sufficient in satisfying the Performance Outcome.

CONCLUSION

The proposed development is considered to satisfy all relevant Performance Outcomes within the Established Neighbourhood Zone. The obvious point of consideration for this proposal is the proposed built form, which comprises two levels, however as expressed previously, the proposed building height is complementary and consistent with the height of nearby buildings. Further, it is not considered to significantly diminish the character found within the wider Zone, as each street typically forms its own character, to which Gurrs Road demonstrates a number of examples in which some of the character has been diminished over time, be it the number of building levels as well as the architectural elements, particularly of housing stock from the last years.

The proposed building is considered to present a balanced mix of contemporary building elements, whilst having regard to the built form character expressed in the Brighton Character Area Statement including elements such as hipped roofing, high solid to void ratio, vertically proportioned windows and doors, brick work and render to walls.

RECOMMENDATION

Planning consent

It is recommended that the Council Assessment Panel resolve that:

1. Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and

2. Development Application Number 22037359, by Metricon Homes Pty Ltd is granted Planning Consent subject to the following conditions:

CONDITIONS**Planning Consent**

1. The development granted approval shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).
2. That all upstairs windows, other than facing the street, shall have minimum window sill heights of 1.5 metres above finished floor level, or any glass below 1.5 metres shall be obscure and fixed shut and be installed prior to occupation of the dwelling.
3. That landscaping as detailed in the approved plans shall be planted prior to occupation and shall be maintained in good health and condition at all times. Any such vegetation shall be replaced if and when it dies or becomes seriously diseased.
4. Tree(s) must be planted and/or retained in accordance with DTS/DPF 1.1 of the Urban Tree Canopy Overlay in the Planning and Design Code (as at the date of lodgement of the application). New trees must be planted within 12 months of occupation of the dwelling(s) and maintained.
5. Rainwater tank(s) must be installed in accordance with DTS/DPF 1.1 of the Stormwater Management Overlay in the Planning and Design Code (as at the date of lodgement of the application) within 12 months of occupation of the dwelling(s).
6. The stormwater disposal system shall cater for a 5 year rainfall event with discharge to the street not to exceed 10 litres per second. Any excess above this flow is to be detained on site.

OFFICER MAKING RECOMMENDATION

Name: Dean Spasic

Title: Development Officer - Planning

Date: 30 January 2023