

TO: **COUNCIL ASSESSMENT PANEL**
 DATE: **28 OCTOBER 2020**
 SUBJECT: **COUNCIL ASSESSMENT REPORT**
 AUTHOR: **DEAN SPASIC**
DEVELOPMENT OFFICER - PLANNING

ATTACHMENTS: **1. LOCALITY PLAN**
2. PROPOSED PLANS
3. COMMISSIONER OF HIGHWAYS REPORT
4. STATEMENTS OF REPRESENTATIONS

HEARING OF REPRESENTORS: **YVETTE SMART OF 1/280 SEACOMBE ROAD, SEACLIFF PARK**
 HEARING OF APPLICANT: **MAURICE HOOD, WILCOT DRAFTING**

DA NO.	:	<u>110/00418/20</u>
APPLICANT	:	<u>WILCOT DRAFTING</u>
LOCATION	:	<u>282 SEACOMBE ROAD, SEACLIFF PARK</u>
DEVELOPMENT PLAN	:	<u>CONSOLIDATED 2 JUNE 2016</u>
ZONE AND POLICY AREA	:	<u>RESIDENTIAL ZONE</u>
NATURE OF DEVELOPMENT:		<u>MERIT</u>
PROPOSAL	:	<u>CONSTRUCTION OF A TWO STOREY DETACHED DWELLING WITH GARAGE WALL ON EASTERN SIDE BOUNDARY AND SINGLE STOREY DETACHED DWELLING</u>
EXISTING USE	:	<u>RESIDENTIAL</u>
CATEGORY	:	<u>TWO</u>
REPRESENTATIONS	:	<u>TWO</u>
RECOMMENDATION	:	<u>DEVELOPMENT PLAN CONSENT SUBJECT TO CONDITIONS</u>

1. Site and Locality

The subject site is located in the Residential Zone, extending between Seacombe Road and an unnamed public lane. The immediate locality contains a combination of detached and group dwellings, with two adjacent sites comprising a pair of dwellings on the same configuration as proposed.

2. Proposed Development

The proposal comprises the construction of a two storey detached dwelling facing Seacombe Road and single storey detached dwelling facing the rear laneway, over recently created allotments.

3. Public Consultation

The proposed development is a merit proposal, and assigned as a category 2 development for public notification purposes, as per the Development Plan *Public Notification parameter*, which refers to where a boundary wall has a height exceeding 2.75 metres above the natural ground level.

A total of three statements of representations were received, however one was withdrawn following the applicants commitment to ensuring visual privacy via appropriate treatment of upper level windows (and conditioned accordingly by Council, if approved).

The remaining statements of representation are summarised as follows:

Lyndall Thomas, of 2 Ophir Crescent, Seacliff Park:

- Another property facing the laneway will result in increased traffic (*representation not relevant for the assessment of new dwellings as new allotment already approved*);
- People who currently live in the lane way place rubbish bins in front of houses in Ophir Crescent (*representation not relevant for the assessment of new dwellings as new allotment already approved*).

Yvette Smart, of 1/280 Seacombe Road, Seacliff Park:

- Another property facing the laneway will result in increased traffic (*representation not relevant for the assessment of new dwellings as new allotment already approved*);
- People who currently live in the lane way place rubbish bins in front of houses in Ophir Crescent (*representation not relevant for the assessment of new dwellings as new allotment already approved*).

Applicant's reply to statements of representations

- Verbally indicated that the representations are not relevant for the assessment of new dwellings on existing allotments.

4. Commissioner of Highways Report

The Commissioner of Highways has reviewed the proposal and raises no objection. The Commissioner has directed that Council includes conditions of approval, as per Conditions 6 to 9.

5. Development Assessment

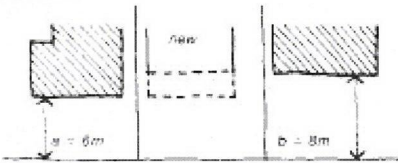
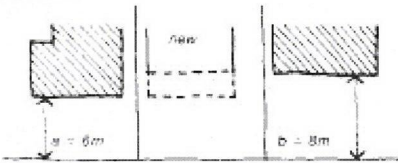
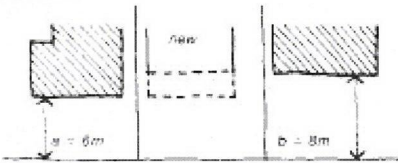
HOLDFAST BAY (CITY) DEVELOPMENT PLAN ASSESSMENT TABLE

Two storey dwelling	Development Plan	Proposed	Complies
Site coverage	50%	47%	Yes
Private open space	20%	26%	Yes
Primary street setback	Average of adjacent buildings (average 6m)	6.4m	Yes
Ground level side setback	Wall on boundary 3m high x 8m long 900mm	Wall on boundary not more than 3m high and 8m long 1.2m+	Yes
Upper level side setback	2.5m	3.4m+	Yes
Ground level rear setback	4m	5m	Yes
Upper level rear setback	6m	10.4m	Yes
Single storey dwelling	Development Plan	Proposed	Complies
Site coverage	50%	46%	Yes
Private open space	20%	28%	Yes
Primary street setback	Average of adjacent buildings (average 1m)	4m	Yes
Ground level side setback	Wall on boundary 3m high x 8m long 900mm	Carport on boundary 1m	Yes
Ground level rear setback	4m	4m	Yes

CONSOLIDATED 2 JUNE 2016

GENERAL SECTION – DESIGN AND APPEARANCE	
OBJECTIVES	Assessment
1 Development of a high design standard and appearance that responds to and reinforces positive aspects of the local environment and built form.	Complies
PRINCIPLES OF DEVELOPMENT CONTROL	Assessment
1 Buildings should reflect the desired character of the locality while incorporating contemporary designs that have regard to the following: <ul style="list-style-type: none"> (a) building height, mass and proportion (b) external materials, patterns, colours and decorative elements (c) roof form and pitch (d) façade articulation and detailing (e) verandahs, eaves, parapets and window screens. 	Complies
2 Where a building is sited on or close to a side boundary, the side boundary wall should be sited and limited in length and height to minimise: <ul style="list-style-type: none"> (a) the visual impact of the building as viewed from adjoining properties (b) overshadowing of adjoining properties and allow adequate sun light to neighbouring buildings. 	Complies

GENERAL SECTION – DESIGN AND APPEARANCE	
PRINCIPLES OF DEVELOPMENT CONTROL (Cont)	Assessment
3 The external walls and roofs of buildings should not incorporate highly reflective materials which will result in glare to neighbouring properties or drivers.	Complies
4 Structures located on the roofs of buildings to house plant and equipment should form an integral part of the building design in relation to external finishes, shaping and colours.	Complies
10 The design and location of buildings should enable direct winter sunlight into adjacent dwellings and private open space and minimise the overshadowing of: <ul style="list-style-type: none"> (a) windows of habitable rooms (b) upper-level private balconies that provide the primary open space area for a dwelling (c) solar collectors (such as solar hot water systems and photovoltaic cells). 	Complies
11 Development should minimise direct overlooking of habitable rooms and private open spaces of dwellings through measures such as: <ul style="list-style-type: none"> (a) off-setting the location of balconies and windows of habitable rooms with those of other buildings so that views are oblique rather than direct (b) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms (c) screening devices (including fencing, obscure glazing, screens, external ventilation blinds, window hoods and shutters) that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity. 	Complies
12 Development should ensure that ground-level open space of existing buildings receives direct sunlight for a minimum of two hours between 9 am and 3 pm on 21 June to at least the smaller of the following: <ul style="list-style-type: none"> (a) half of the existing ground-level open space (b) 35 square metres of the existing ground-level open space (with at least one of the area's dimensions measuring 2.5 metres). Development should not increase the overshadowed area by more than 20 per cent in cases where overshadowing already exceeds these requirements.	Complies
13 Buildings (other than ancillary buildings or group dwellings) should be designed so that their main façade faces the primary street frontage of the land on which they are situated.	Complies
GENERAL SECTION – RESIDENTIAL DEVELOPMENT	
OBJECTIVES	Assessment
1 Safe, convenient, pleasant and healthy-living environments that meet the full range of needs and preferences of the community.	Complies
2 A diverse range of dwelling types and sizes available to cater for changing demographics, particularly smaller household sizes and supported accommodation.	Complies
3 Medium and high density residential development in areas close to activity centres, public and community transport and public open spaces.	Complies
4 The revitalisation of residential areas to support the viability of community services and infrastructure.	Complies
PRINCIPLES OF DEVELOPMENT CONTROL	Assessment
1 Residential allotments and sites should maximise solar orientation and have the area and dimensions to accommodate: <ul style="list-style-type: none"> (a) the siting and construction of a dwelling and associated ancillary outbuildings (b) the provision of landscaping and private open space (c) convenient and safe vehicle, pedestrian and cycling access and parking (d) water sensitive design systems that enable the storage, treatment and reuse of stormwater. 	Complies
4 Dwellings and accommodation at ground floor level should contribute to the character of the locality and create active, safe streets by incorporating one or more of the following: <ul style="list-style-type: none"> (a) front landscaping or terraces that contribute to the spatial and visual structure of the street while maintaining adequate privacy for occupants (b) individual entries for ground floor accommodation (c) opportunities to overlook adjacent public space. 	Complies
5 Residential development should be designed to ensure living rooms have an external outlook.	Complies
6 Entries to dwellings should be clearly visible from the streets that they front to enable visitors to identify a specific dwelling easily.	Complies

GENERAL SECTION – RESIDENTIAL DEVELOPMENT									
PRINCIPLES OF DEVELOPMENT CONTROL (Cont)	Assessment								
<p>10 The design and location of buildings should ensure that direct winter sunlight is available to adjacent dwellings, with particular consideration given to:</p> <ul style="list-style-type: none"> (a) windows of habitable rooms (all rooms excluding bathrooms, laundries and hallways), particularly living areas (b) ground-level private open space (c) upper-level private balconies that provide the primary open space area for any dwelling (d) access to solar energy. 	Complies								
<p>11 Development should ensure that north-facing windows to habitable rooms (all rooms excluding bathrooms, laundries and hallways) of existing dwelling(s) on the same allotment, and on adjacent allotments, receive at least 3 hours of direct sunlight over a portion of their surface between 9am and 5pm on 21 June.</p>	Complies								
<p>12 Development should ensure that ground-level open space of existing buildings receives direct sunlight for a minimum of two hours between 9 am and 3 pm on 21 June to at least the smaller of the following:</p> <ul style="list-style-type: none"> (a) half of the existing ground-level open space (b) 35 square metres of the existing ground-level open space (with at least one of the areas dimensions measuring 2.5 metres). <p>Development should not increase the overshadowed area by more than 20 per cent in cases where overshadowing already exceeds these requirements.</p>	Complies								
<p>13 Garages, carports and outbuildings should have a roof form and pitch, building materials and detailing that complement the associated dwelling.</p>									
<p>14 Garages and carports facing the street should not dominate the streetscape and should be designed in accordance with the following:</p> <ul style="list-style-type: none"> (a) have a maximum total width of garage or carport openings of 6 metres or 50 per cent of the dwelling frontage width, whichever is the lesser (b) be located at least 0.5 metres behind the main face of the associated dwelling (c) where it is in the form of an enclosed double carport or garage, be setback at least 8 metres from the primary road frontage and incorporate one of the following: <ul style="list-style-type: none"> (i) two individual doors with a distance of not less than 300 millimetres between them (ii) double tilt-up doors with moulded door panels having a maximum width of no more than 5 metres (d) be constructed of materials that integrate with those of the associated dwelling, or pre-coloured treated metal. 	Complies								
<p>19 Except where specified in a particular zone, policy area or precinct or Residential High Density Zone, the main face of a building should be set back from the primary road frontage in accordance with the following table:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #cccccc;"> <th style="text-align: left; padding: 5px;">Setback difference between buildings on adjacent allotments with frontage to the same primary street</th> <th style="text-align: left; padding: 5px;">Setback of new building</th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;">Up to 2 metres</td> <td style="padding: 5px;">The same setback as one of the adjacent buildings, as illustrated below:</td> </tr> <tr> <td colspan="2" style="text-align: center; padding: 10px;">  <p style="font-size: small; text-align: center;">When $b < 2$, setback of new dwelling = a or b</p> </td> </tr> <tr> <td style="padding: 5px;">Greater than 2 metres</td> <td style="padding: 5px;">At least the average setback of the adjacent buildings.</td> </tr> </tbody> </table>	Setback difference between buildings on adjacent allotments with frontage to the same primary street	Setback of new building	Up to 2 metres	The same setback as one of the adjacent buildings, as illustrated below:	 <p style="font-size: small; text-align: center;">When $b < 2$, setback of new dwelling = a or b</p>		Greater than 2 metres	At least the average setback of the adjacent buildings.	Complies
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GENERAL SECTION – RESIDENTIAL DEVELOPMENT		Assessment												
PRINCIPLES OF DEVELOPMENT CONTROL (Cont)														
20 Dwelling setbacks from side and rear boundaries should be progressively increased as the height of the building increases to: (a) minimise the visual impact of buildings from adjoining properties (b) minimise the overshadowing of adjoining properties.		Complies												
21 Residential development (other than where located on a boundary) should be setback from side and rear boundaries in accordance with the following parameters:		Complies												
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23 Side boundary walls in residential areas should be limited in length and height to: (a) minimise their visual impact on adjoining properties (b) minimise the overshadowing of adjoining properties.		Complies												
24 Walls associated with a dwelling located on a side boundary should be designed in accordance with the following parameters: (a) a height not exceeding 3 metres above natural ground level (b) a length not exceeding 8 metres (c) the wall, when its length is added to the length of any other relevant walls or structures located on that boundary: (i) will not result in all such relevant walls and structures exceeding a length equal to 45 per cent of the length of the boundary (ii) will not be within 3 metres of any other relevant wall or structure located along the boundary, except where the side wall is located immediately abutting the wall of an existing or simultaneously constructed building on the adjoining site and is constructed to the same or to a lesser length and height.		Complies												
28 Site coverage (the proportion of a site covered by ground floor level buildings and structures including dwelling, garage, carport, verandas and outbuildings but excluding unroofed pergolas and unroofed balconies) should not exceed the following values: Site Coverage 28 Site coverage (the proportion of a site covered by ground floor level buildings and structures including dwelling, garage, carport, verandas and outbuildings but excluding unroofed pergolas and unroofed balconies) should not exceed the following values:		Complies												
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29 Site coverage should ensure sufficient space is provided for: (a) pedestrian and vehicle access and vehicle parking (b) domestic storage (c) outdoor clothes drying (d) rainwater tanks (e) private open space and landscaping (f) convenient storage of household waste and recycling receptacles.		Complies												

GENERAL SECTION – RESIDENTIAL DEVELOPMENT		Assessment					
PRINCIPLES OF DEVELOPMENT CONTROL (Cont)		Assessment					
<p>31 Private open space (land available for exclusive use by residents of each dwelling) should be provided for each dwelling (including a dwelling within a residential flat building) and should be sited and designed:</p> <ul style="list-style-type: none"> (a) to be accessed directly from the habitable rooms of the dwelling (b) to be generally at ground level (other than for residential flat buildings) and to the side or rear of a dwelling and screened for privacy (c) to take advantage of, but not adversely affect, natural features of the site (d) to minimise overlooking from adjacent buildings (e) to achieve separation from bedroom windows on adjoining sites (f) to have a northerly aspect to provide for comfortable year-round use (g) to not be significantly shaded during winter by the associated dwelling or adjacent development (h) to be shaded in summer (i) to minimise noise and air quality impacts that may arise from traffic, industry or other business activities within the locality (j) to have sufficient area and shape to be functional, taking into consideration the location of the dwelling, and the dimension and gradient of the site. 	Complies						
<p>32 Dwellings and residential flat buildings at ground level should include private open space that conforms to the requirements identified in the following table:</p> <table border="1" data-bbox="209 902 1142 1193"> <thead> <tr> <th>Site area of dwelling</th> <th>Minimum area of private open space</th> <th>Provisions</th> </tr> </thead> <tbody> <tr> <td>250 square metres or greater</td> <td>20 per cent of site area</td> <td> <p>Balconies, roof patios, decks and the like, can comprise part of this area provided the area of each is 10 square metres or greater.</p> <p>One part of the space should be directly accessible from a kitchen, lounge room, dining room or living room (excluding a bedroom) and have an area equal to or greater than 10 per cent of the site area with a minimum dimension of 5 metres and a maximum gradient of 1-in-10.</p> </td> </tr> </tbody> </table>	Site area of dwelling	Minimum area of private open space	Provisions	250 square metres or greater	20 per cent of site area	<p>Balconies, roof patios, decks and the like, can comprise part of this area provided the area of each is 10 square metres or greater.</p> <p>One part of the space should be directly accessible from a kitchen, lounge room, dining room or living room (excluding a bedroom) and have an area equal to or greater than 10 per cent of the site area with a minimum dimension of 5 metres and a maximum gradient of 1-in-10.</p>	Complies
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<p>33 Private open space should not include driveways, front yards (except where it is a group dwelling that has no frontage to a public road and the private open space is screened from adjacent dwellings), effluent drainage areas, rubbish bin storage, sites for rainwater tanks and other utility areas and common areas such as parking areas and communal open space.</p>	Complies						
<p>34 Private open space at ground level should be designed to provide a consolidated area of deep soil (an area of natural ground which excludes areas where there is a structure underneath, pools and non-permeable paved areas) to:</p> <ul style="list-style-type: none"> (a) assist with ease of drainage (b) allow for effective deep planting (c) reduce urban heat loading and improve micro-climatic conditions around sites and buildings. 	Complies						
<p>40 Except for buildings of 3 or more storeys in the Minda Incorporated Brighton Campus, upper level windows, balconies, terraces and decks that overlook habitable room windows or private open space of dwellings should maximise visual privacy through the use of measures such as sill heights of not less than 1.7 metres or permanent screens having a height of 1.7 metres above finished floor level.</p>	Complies						

GENERAL SECTION – RESIDENTIAL DEVELOPMENT	
PRINCIPLES OF DEVELOPMENT CONTROL (Cont)	Assessment
<p>41 Where development is greater than single storey (excluding the Minda Incorporated Brighton Campus):</p> <p>(a) any upper storey window that directly overlooks the private open space of an adjoining residential property that is within 30 metres from the vertical centre line of the overlooking window and beyond a 45 degree angle from the plane of the wall containing the overlooking window (as illustrated by the figure below) should be glazed in fixed obscure glass or have window sills a minimum of 1.7 metres above the upper floor level:</p> <div data-bbox="534 582 885 884" data-label="Diagram"> <p style="text-align: center;">existing useable private open space</p> <p style="text-align: center;">30m radius</p> <p style="text-align: center;">45° 45°</p> <p style="text-align: center;">new dwelling</p> </div> <p>(b) any upper storey window that directly overlooks habitable rooms (all rooms excluding bathrooms, laundries and hallways) of residential buildings that are within 15 metres from the vertical centre line of the overlooking window and beyond a 45 degree angle from the plane of the wall containing the overlooking window (as illustrated by the figure below) should be glazed in fixed obscure glass or have window sills a minimum of 1.7 metres above the upper floor level:</p> <div data-bbox="526 1075 877 1299" data-label="Diagram"> <p style="text-align: center;">existing dwelling</p> <p style="text-align: center;">15m radius</p> <p style="text-align: center;">45° 45°</p> <p style="text-align: center;">new dwelling</p> </div> <p>(c) any upper storey balcony should be located and/or designed to avoid directly overlooking the private open space of adjoining residential properties and into habitable rooms (all rooms excluding bathrooms, laundries and hallways) of other dwellings.</p>	Complies
1 Development that contributes to the desired character of the policy area.	
<p>DESIRED CHARACTER</p> <p>The policy area includes the area between Young Street and Pine Avenue, and extends from the allotments behind the Esplanade eastwards to Brighton Road. The railway line is a significant feature within the policy area, creating a significant north-south movement and landscape corridor but restricting east-west access and movement.</p> <p>The policy area has unique characteristics, having been subdivided and first settled earlier than the adjoining precincts. It is characterised by a sloping landform overlaid with a rectilinear 19th Century pattern of roads resulting in smaller allotment sizes, narrow streets, reduced setbacks, limited street trees and limited stormwater infrastructure. While there is a diversity of architectural eras and styles evident, the policy area is characterised by small to medium scale detached dwellings constructed in the 1880s to 1920s west of the railway line, and a similar development scale constructed during the later 1930s to 1960s east of the railway line. These dwelling forms typically vary between one and two storeys in height throughout the policy area.</p> <p>Development will reinforce the existing historic street pattern, urban form and have regard to the slope of the land. With respect to the sloping topography of the policy area, buildings will be designed and sited to limit extensive cut and fill and be sited (and of a form and scale) to protect significant views and vistas.</p> <p>Development will also include landscape buffers and noise attenuation features for development on sites that abut the railway line.</p>	Complies

ZONE SECTION – RESIDENTIAL ZONE	
OBJECTIVES	Assessment
Further infill development will be limited in response to the constraints of the existing road and stormwater infrastructure, and the need to preserve public coastal views and open space. Development will incorporate side, front and rear building setbacks that provide landscaping opportunities, on-site stormwater retention/detention, complement the predominant setbacks within the locality and limit overlooking into neighbouring property. Notwithstanding, development may achieve coastal views through the utilisation of the sloping topography and may require horizontal views over (but not necessarily into) lower sites. Likewise, site topography may allow for overlooking into neighbouring properties more than normally tolerated in other zones and policy areas.	Complies
ZONE SECTION – RESIDENTIAL ZONE	
PRINCIPLES OF DEVELOPMENT CONTROL	Assessment
1 The following forms of development are envisaged in the policy area: <ul style="list-style-type: none"> ▪ domestic outbuilding in association with a dwelling ▪ domestic structure ▪ dwelling ▪ dwelling addition ▪ residential flat building. 	Complies
2 Development should not be undertaken unless it is consistent with the desired character for the policy area.	Complies
5 Development should be limited to single storey and in any case the vertical wall height at any point, excluding gables, should not exceed 3.5 metres above natural ground level.	Does not comply for Dwelling facing Seacombe Road

6. Summary of Assessment

Zone and Land use

Being east of Brighton Road, and not within a prescribed area for the purpose of Schedule 4, Part 2B (Residential Code), the Development Plan anticipates single storey built form, however the significance of this provision has diminished significantly over the last 10 years, particularly as two storey development can occur, as of right, immediately north and south of Seacombe Road. It is not clear what the fundamental objective is regarding single storey built form east of Brighton Road, which further reduces its planning significance. It is reasonable to also have regard to the fact that following the implementation of the State Government's planning reform, two storey built form will be anticipated on the subject site.

Solar Access

The buildings are setback from allotment boundaries in such a way that solar access to adjacent properties will be achieved for a minimum of 3 hours between 9am and 3pm during the winter solstice.

Visual Privacy

The upper level windows of the two storey building on the side and rear elevations will be obscured up to 1.7 metres above the floor level so as to ensure the visual privacy of adjacent properties is not compromised.

Statements of Representations

The outstanding statements of representation have regard to the pattern of division (creation of a pair of allotments, with one facing the laneway, however the land division has already been approved. This application is for the construction of a pair of dwellings on existing allotments, therefore the issues raised in the representations are not relevant to the assessment of this proposal.

7. Conclusion

The proposed development satisfies all relevant provisions of the Development Plan and is therefore considered to warrant planning consent.

8. RECOMMENDATION

1. The proposed development is NOT seriously at variance with the policies in the Development Plan.
2. Following a detailed assessment of the proposal against the provisions of the Holdfast Bay (City) Development Plan, the Council Assessment Panel resolves to grant Development Plan Consent to Development Application 110/00418/20 comprising the construction of a two storey detached dwelling with garage wall located on the eastern side boundary and single storey detached dwelling at 282 Seacombe Road, Seacliff Park.

PLANNING CONDITIONS

1. The proposal shall be implemented as shown on the plans prepared by FMG Engineering, Civil Plan, Job No. S49741/270756, Drawing No. HC01 and plans prepared by Wilcot Drafting, Drawing Ref No. WD1767, Sheets 1, 2, 3, 5, 6, 7, and 8 unless varied by any subsequent conditions imposed herein.
2. Landscaping shall be established within the front and rear yards, and comprise trees, shrubs and grasses that are established prior to occupation and maintained to the reasonable satisfaction of Council.
3. That all upstairs windows on the side and rear elevations shall have minimum window sill heights of 1.7 metres above finished floor level, or any glass below 1.7 metres shall be manufactured obscure glass and fixed shut or as otherwise approved by Council. Further details of this requirement shall be provided at Building Rules Assessment stage.
4. Balconies shall comprise fixed screens up to 1.7 metres in height, measured above the balcony floor level so as to ensure the visual privacy of adjacent residences is not compromised. Further details of this requirement shall be provided at Building Rules Assessment stage.

5. That stormwater from each dwelling shall be collected and connected to a 1000 litre (minimum) rainwater tank with a sealed system over flow connection to the street water table. Final details of the location and size of the tank(s) shall be submitted to Council for approval prior to the issue of full Development Approval. Furthermore, all stormwater from the dwelling and the site shall be collected and disposed of in a manner that does not adversely affect any properties adjoining the site or the stability of any building on adjacent sites.

NOTE: Stormwater shall not be disposed of over a vehicle crossing place and any connection to the street water table, including remedial works to footpaths, verges or other Council infrastructure, is subject to any necessary approvals from Council and will be at the applicant's cost.

6. The stormwater disposal system shall cater for a 5 year rainfall event with discharge to the street not to exceed 10 litres per second. Any excess above this flow is to be detained on site to the reasonable satisfaction of Council.
7. All access to/from the development shall be gained in accordance with the site plan produced by Wilcot Drafting, Drawing No. WD1767, dated 3 April 2020.
8. All vehicles shall enter and exit the site in a forward direction.
9. The access and all on-site vehicle manoeuvring areas shall remain clear of any impediments.
10. Stormwater run-off shall be collected on-site and discharged without jeopardising the integrity and safety of the adjacent road network. Any alterations to the road drainage infrastructure required to facilitate this shall be at the applicant's cost.

ATTACHMENT 1.0



LOCALITY MAP
282 SEACOMBE ROAD, SEACLIFF PARK
110/00418/20

THIS DRAWING IS COPYRIGHT TO FMG ENGINEERING. NO PART OF THIS DRAWING, INCLUDING THE WHOLE OF SAME, SHALL BE USED FOR ANY PURPOSE OR SITE OTHER THAN WHICH IT WAS PREPARED, NOR BY ANY THIRD PARTY, WITHOUT THE PRIOR WRITTEN CONSENT OF FMG ENGINEERING.

CONTRACTORS MUST SET OUT ALL WORK AND VERIFY ALL CONDITIONS, LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR MAKING OF ANY SHOP DRAWINGS WHICH MUST BE SUBMITTED AND APPROVED PRIOR TO ANY MANUFACTURE.

ALL WORK MUST BE EXECUTED IN ACCORDANCE WITH THE RULES, REGULATIONS, BY LAWS AND REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION OVER ANY PART OF THE WORK.

ELECTRONIC COPIES OF THIS DRAWING ARE NOT TO BE USED FOR DIMENSIONAL SETOUT.

REV	DESCRIPTION	DATE	INIT	APP

BENCH:
ENSURE BENCH IS GRADED FROM HOUSE
SLOPE OF 1 IN 4.0 FOR PAVED AREAS.
SLOPE OF 1 IN 100 FOR GRASSED AREAS.

SEWER LAYOUT:
THE SEWER LAYOUT IS INDICATIVE ONLY. THE INVERTS SHOWN HAVE BEEN CALCULATED TO DETERMINE WHETHER ADDITIONAL FOOTING PIERS MAY BE REQUIRED. IT IS NOT NECESSARILY A FINAL SEWER DESIGN. IF SEWER IS TO BE LAID DEEPER THAN INVERT POINTS SHOWN THEN A REVIEW OF FOOTING DESIGN IS REQUIRED BY THIS OFFICE. MAXIMUM LEVEL OF PATH AT FLOOD GULLY TO BE 165mm BELOW F.F.L.

STORMWATER:
PROVIDE ADEQUATE PROTECTION OR COVER TO STORMWATER PIPES (300mm COVER WHERE PIPE IS LIKELY TO BE SUBJECT TO VEHICULAR LOADING AND 100mm MINIMUM COVER OTHERWISE). WHEN A SEALED STORMWATER SYSTEM IS USED REFER TO DETAIL SHEET 1 IN 250 MIN FALL ON STORMWATER DRAINS EXCEPT IN SEALED SYSTEMS.

FLEXIBLE CONNECTIONS:
FLEXIBLE CONNECTIONS TO STORM WATER AND WASTE DRAINS ARE NOT NECESSARY ON THIS SITE.

SITE:
LEVELS SHOWN ARE APPROXIMATE ONLY AND ARE TO AN ASSUMED DATUM AS INDICATED ON SITE PLAN. SITE DIMENSIONS SHOWN IN BRACKETS () AND BOUNDARIES ARE ASSUMED ACCORDING TO INFORMATION AVAILABLE OR FOUND ON SITE, AND SHALL BE CONFIRMED BY THE OWNER.

OWNER PLEASE NOTE
STORMWATER DISPOSAL INCLUDING SURFACE DRAINAGE, AS PER PLAN AND TO COUNCIL REQUIREMENTS ALL TO BE CONSTRUCTED BY OWNER, INCLUDING RETAINING WALLS, UNLESS STATED OTHERWISE IN THE CONTRACT. THE STORMWATER DISPOSAL SYSTEM AS INDICATED MUST BE INSTALLED AS SOON AS PRACTICABLE.
ANY EXCAVATIONS ADJACENT TO FOOTINGS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSE 4 IN APPENDIX B OF FOOTING REPORT. WRITTEN DIMENSIONS SHALL TAKE PRIORITY OVER SCALED DIMENSIONS.
ANY DISCREPANCY BETWEEN THE FOOTING PLAN/REPORT AND THE CIVIL PLAN SHALL BE REPORTED TO FMG ENGINEERING IMMEDIATELY. FLOOR LEVELS MAY BE INCREASED TO ACCOMMODATE SEWER GRADE REQUIREMENTS. OWNER AND/OR BUILDER ARE TO CHECK SEWER INVERTS PRIOR TO SITING WORKS COMMENCING.

NOTES:

ANY RETAINING WALLS SHOWN ARE TO BE CONSTRUCTED BY OWNER AFTER HAND OVER, EXCEPT THOSE THAT ARE NECESSARY FOR THE PHYSICAL CONSTRUCTION OF THE DWELLING.

RETAIN ANY CUT/FILL ON BOUNDARY WITH MINOR CONCRETE SLEEPER RETAINING WALL OR CONCRETE PLINTH AS/IF REQUIRED (BY OWNER)

1 X 1000L MINIMUM RAINWATER TANK (BY OWNER) PLUMBED INTO HOUSE WITH MAINS WATER BACK UP "DIRECT INTERIORS" OR SIMILAR 1100 LITRE (3 MODULE) - 1740L x 550W x 1140H ON 450mm HIGH STAND DP① TO ② TO TANK (MIN 50m² OF ROOF AREA)

ENSURE ANY FILL PLACED UNDER TANK STAND LOCATIONS IS PLACED AT LEAST AS "ROLLED FILL" HOWEVER SOME SETTLEMENT MAY OCCUR IF "CONTROLLED FILL IS NOT USED OR IF TANK STAND SLAB IS NOT PIERED TO NATURAL GROUND. TANK STAND TO BE LOCATED ON HORIZONTAL PLATFORM.

ENSURE SEALED SYSTEM DRAIN LAID LOW ENOUGH WHERE REQUIRED TO ALLOW GRAVITY FLOW DRAIN TO PASS ABOVE WITH SPECIFIED GRADE AND COVER.

GRADE PAVING AND FILL AND/OR GRADE GROUND TO SUMP LOCATIONS OR PROVIDE LINED SPOON DRAIN BETWEEN SUMPS AT 0.30% FALL-REFER SHEET CDS-1 AND DD1

THE NUMBER AND LOCATION OF SUMPS SHOWN ON THIS DRAWING ARE INDICATIVE ONLY AND MAY CHANGE SUBJECT TO ACTUAL SITE CONDITIONS AND THE EXTENT AND TYPE OF PAVEMENTS SELECTED.

LEGEND

	LINED SPOON DRAIN TO FALL AT MIN OF 0.30% (BY OWNER)
	250sq x 280 "POLYSUMP"
	800 GRATED SURFACE S/W SUMP (TYPICAL)
	TANK INLET PIPE SEALED SYSTEM (REFER SHEET DD2) 90 Ø PVC
	TANK OVERFLOW PIPE, REMAINDER OF DP'S AND SURFACE STORMWATER TO STREET W.T. (GRAVITY FLOW) 90 Ø PVC
	SEWER 100 Ø AT 2.0% MIN (ie 1 in 50)
	GRADE BANKS 1 IN 2 UNLESS NOTED OTHERWISE
	EXISTING TREE
	EXISTING TREE TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION UNLESS OTHERWISE STATED
	EXISTING FENCING
	FENCING INCLUDED IN CONTRACT
	ETSA PILLAR
	L.P.O.L.E.
	WAT CON
	SEWER IP
	SWIP
	TELSTRA
	GAS IP
	BDRY CNR (PEG FOUND)
	BDRY CNR (NO PEG)

ENSURE EDGE OF SEWER TRENCH IS KEPT:
* 300mm MINIMUM FROM EDGE OF FOOTINGS.
ELSEWHERE 1200mm FROM EDGE OF FOOTINGS

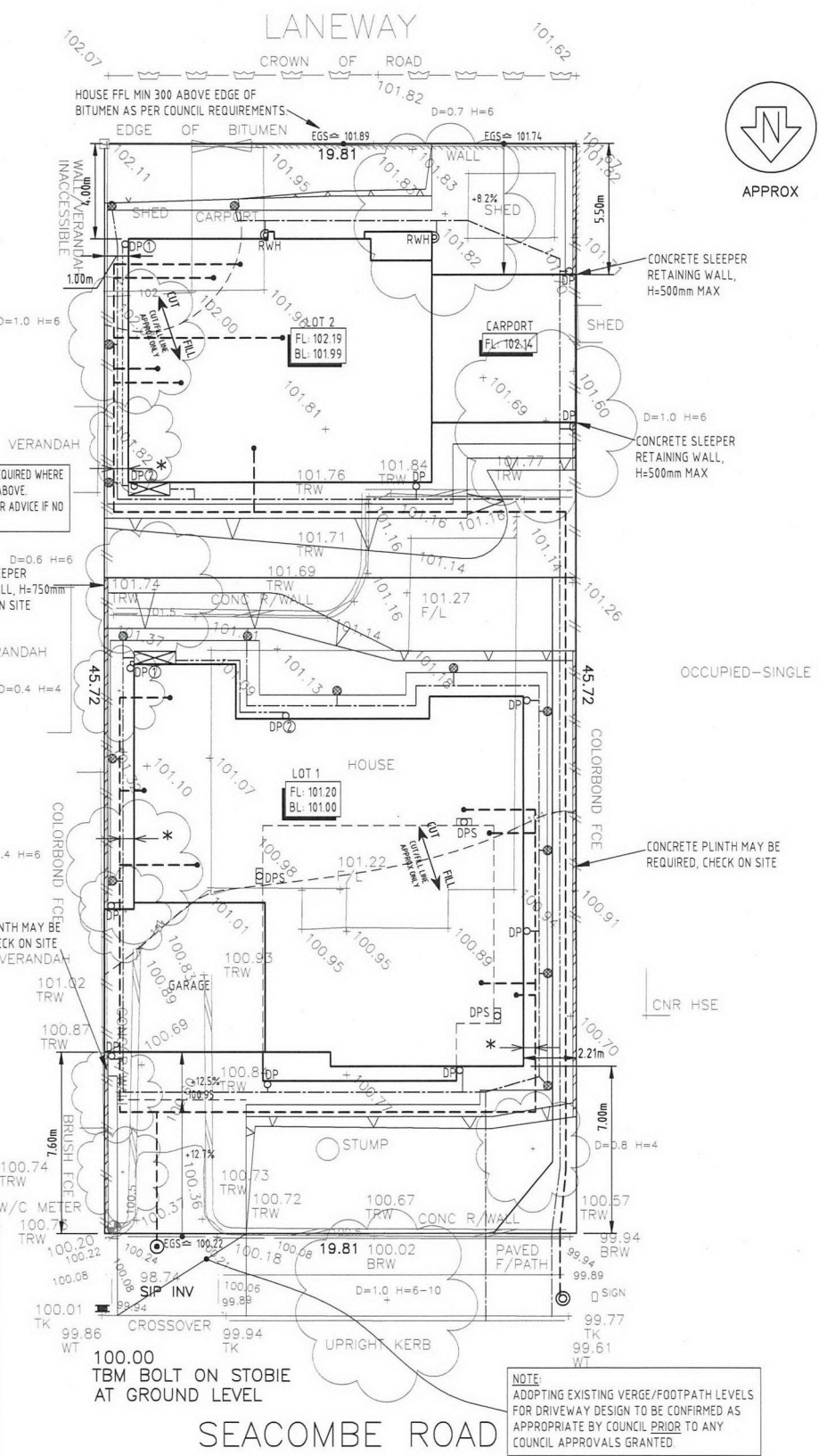
WHERE SEWER DRAIN EXITS FROM UNDER SLAB PROVIDE:

- "KNUCKLE" JOINT IF DRAIN STILL THROUGH PERIMETER BEAM
- HORIZONTAL FLEXIBLE CONNECTION 12m FROM PERIMETER BEAM IF DRAIN UNDER FOOTING.

NOTE: BUILDER TO CHECK DEPTH OF SEWER CONNECTION AND ENSURE ADEQUATE SEWER FALL CAN BE ACHIEVED PRIOR TO COMMENCING EARTHWORKS. REFER ANY CHANGES TO PROPOSED BENCH LEVEL TO THIS OFFICE FOR VERIFICATION PRIOR TO COMMENCING SITE CUT.

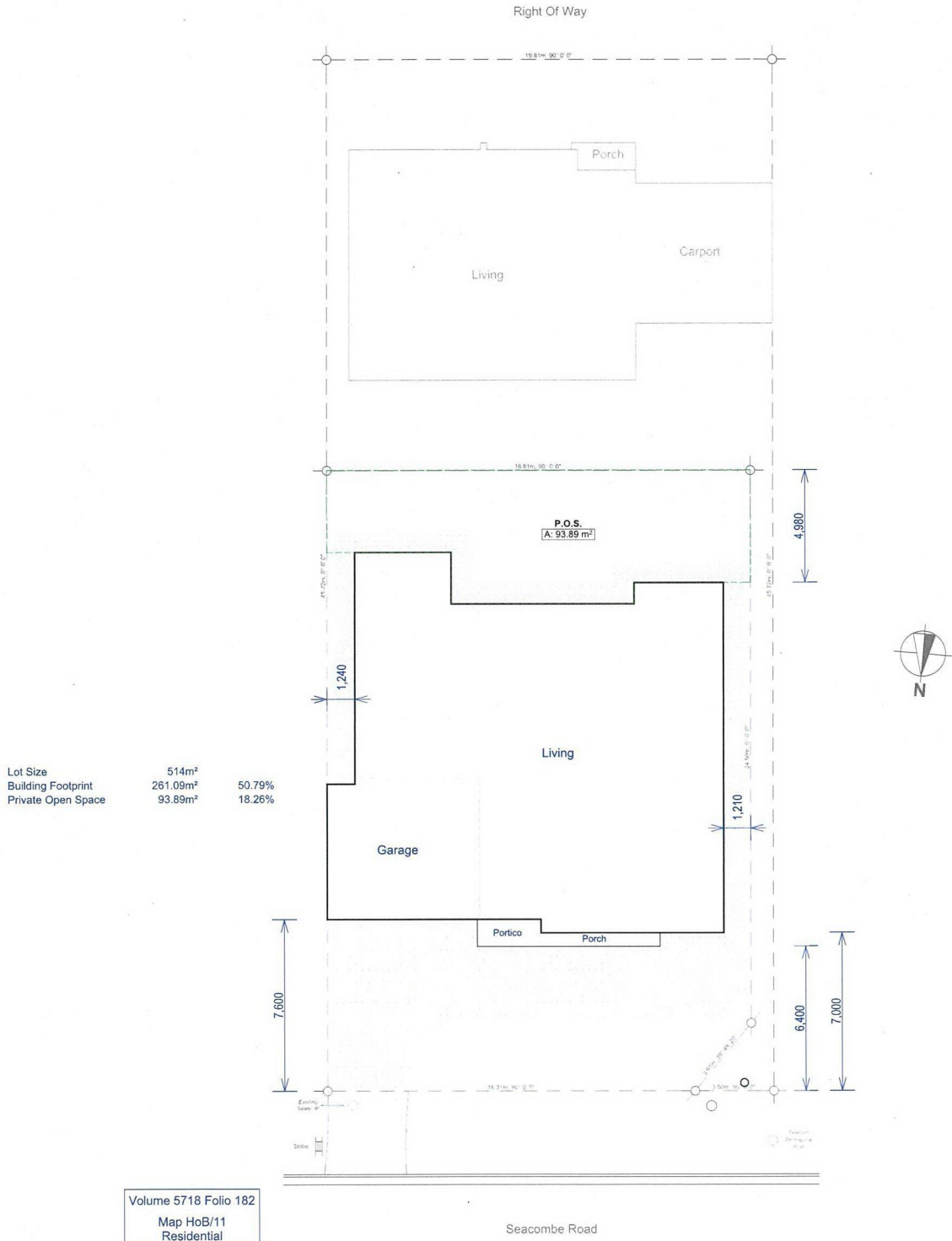
THIS PLAN SHALL NOT BE TAKEN AS A CADASTRAL OR IDENTIFICATION SURVEY BOUNDARY DATA SHOWN IS TO BE TAKEN AS A GUIDE ONLY. IF REQUIRED, EXACT RESIDENCE LOCATION AND BOUNDARY LENGTHS TO BE ESTABLISHED BY QUALIFIED CONSULTANT.

ATTACHMENT 2.0



<p>Engineering your success.</p> <p>ADELAIDE MELBOURNE SYDNEY</p> <p>fmgengineering.com.au</p> <p>P C8 8132 6600 67 Greenhill Rd, Wayville SA 5034</p> <p>ABN 58 083 071 185</p> <p>Quality Management Systems ISO 9001 Certified</p>		<p>CLIENT: WILCOT DRAFTING</p> <p>PROJECT TITLE: PROPOSED RESIDENCE</p> <p>SITE ADDRESS: LOT 1 & 2, 282 SEACOMBE ROAD, SEACLIFF PARK, SA 5049</p> <p>DRAWING TITLE: CIVIL PLAN</p>	<p>DESIGNED: AH</p> <p>DRAWN: AH</p>
		<p>CHECKED: []</p> <p>NO. OF SHEETS: 1 of 1</p>	<p>SCALE: 1:200 @ A3</p> <p>DATE STARTED: 30/06/2020</p>
		<p>SITE ID & JOB No: S49741/270756</p> <p>DRAWING No: HC01</p>	<p>REV: []</p>
		<p>Version: 1, Version Date: 20/10/2020</p>	

ATTACHMENT 2.1



Lot Size	514m ²	
Building Footprint	261.09m ²	50.79%
Private Open Space	93.89m ²	18.26%

1 Site Plan 1:200

Wilcot Drafting

Maurice H Hise

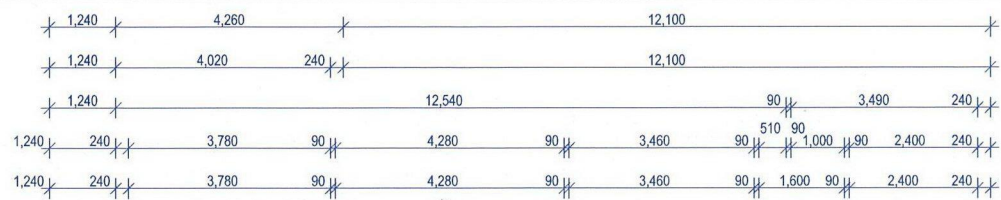
60 St James North Way
Woolongah QLD 4131
Phone 08 8322 2287
Mobile 0418 854 234
Email maurice@wilcotdrafting.com

**Proposed Residence (Lot 1)
at 282 Seacombe Road
Seacliff Park, S.A., 5049
for K. Kashef**

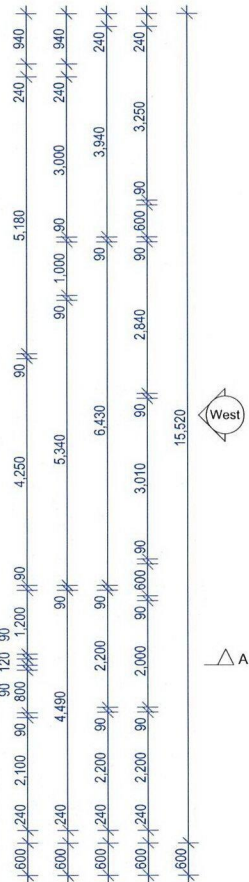
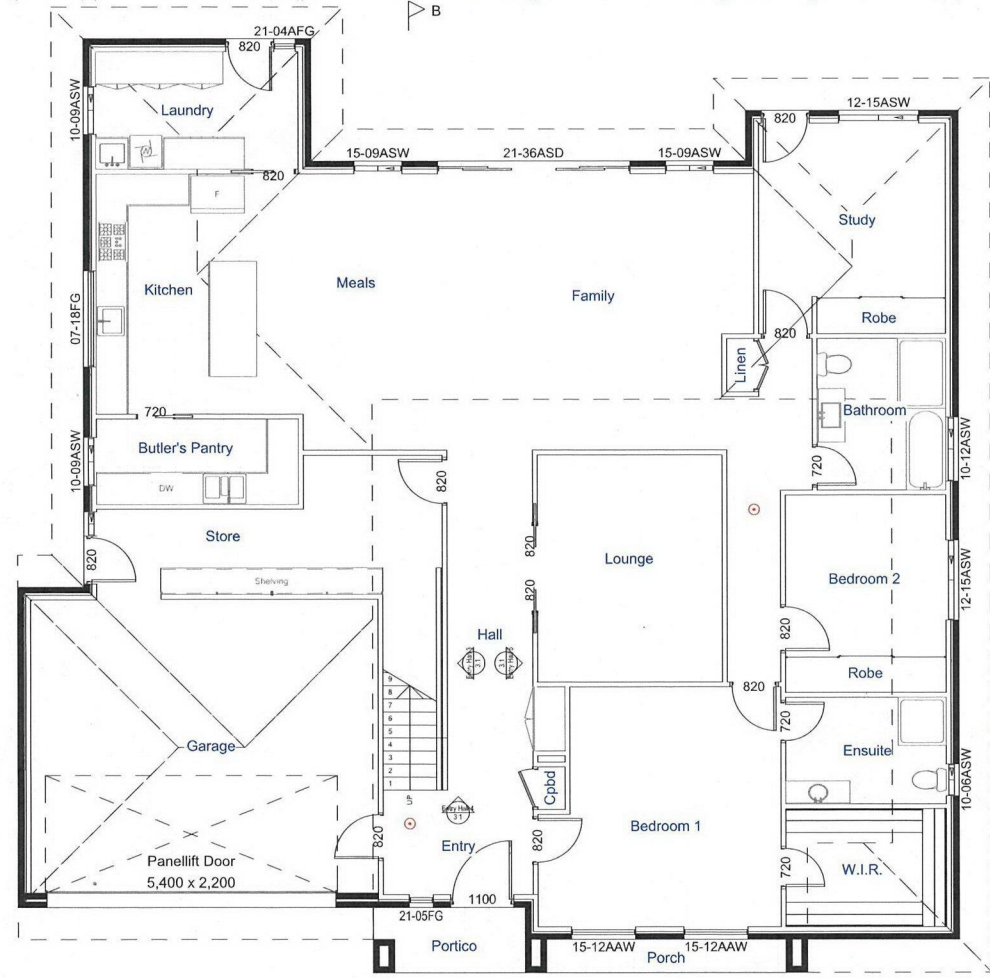
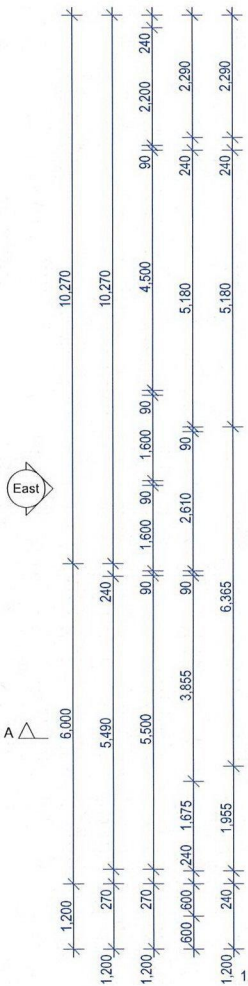
Final Drawings - Planning

Date: 11/06/20
Drawn By: MHH

*Dimensions Take Preference Over Scale.
All Dimensions Are To Be Checked On Site.*



- SMOKE DETECTOR TO BE HARD WIRED WITH 9v BATTERY BACKUP TO COMPLY WITH AS3786 - 2014
- W.C. DOORS TO COMPLY TO B.C.A. - F2.5(b)
- WET AREAS TO COMPLY WITH AS3740 - 2010
- WINDOWS TO COMPLY WITH AS2047 - 1999 "GLASS IN BUILDINGS"
- PERIMETER PAVING TO BE 75mm BELOW D.P.C.
- 50mm REBATE TO PERIMETER OF CONCRETE SLAB
- BIFLEX or SIMILAR TERMITE TREATMENT TO COMPLY WITH AS3600.1 - 2014

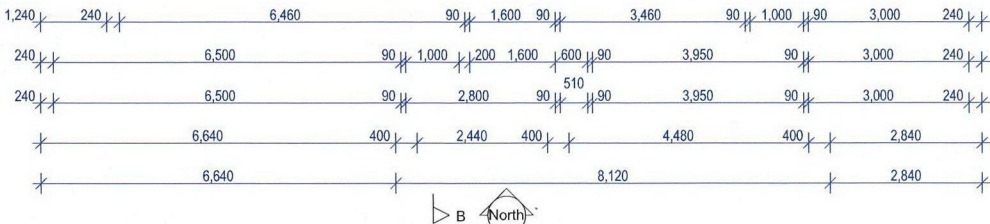


ATTACHMENT 2.2

Living
A: 213.78 m²

Portico & Porch
A: 6.58 m²

Garage
A: 41.93 m²



Proposed Residence (Lot 1)
at 282 Seacombe Road
Seacliff Park, S.A., 5049
for K. Kashef

Final Drawings - Planning
Date: 11/06/20
Drawn By: MHH

*Dimensions Take Preference Over Scale.
All Dimensions Are To Be Checked On Site.*

Wilcot Drafting

60 Sir James Hardy Way
Woodcroft SA 5162
Phone 08 8322 2287
Mobile 0418 894 294
Email: naunce@wilcotdrafting.com

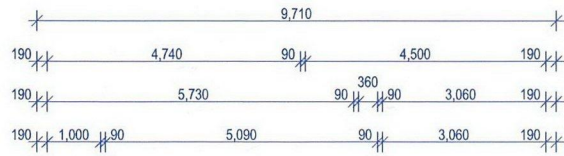
Drawing Ref No: WD1767

1 of 9

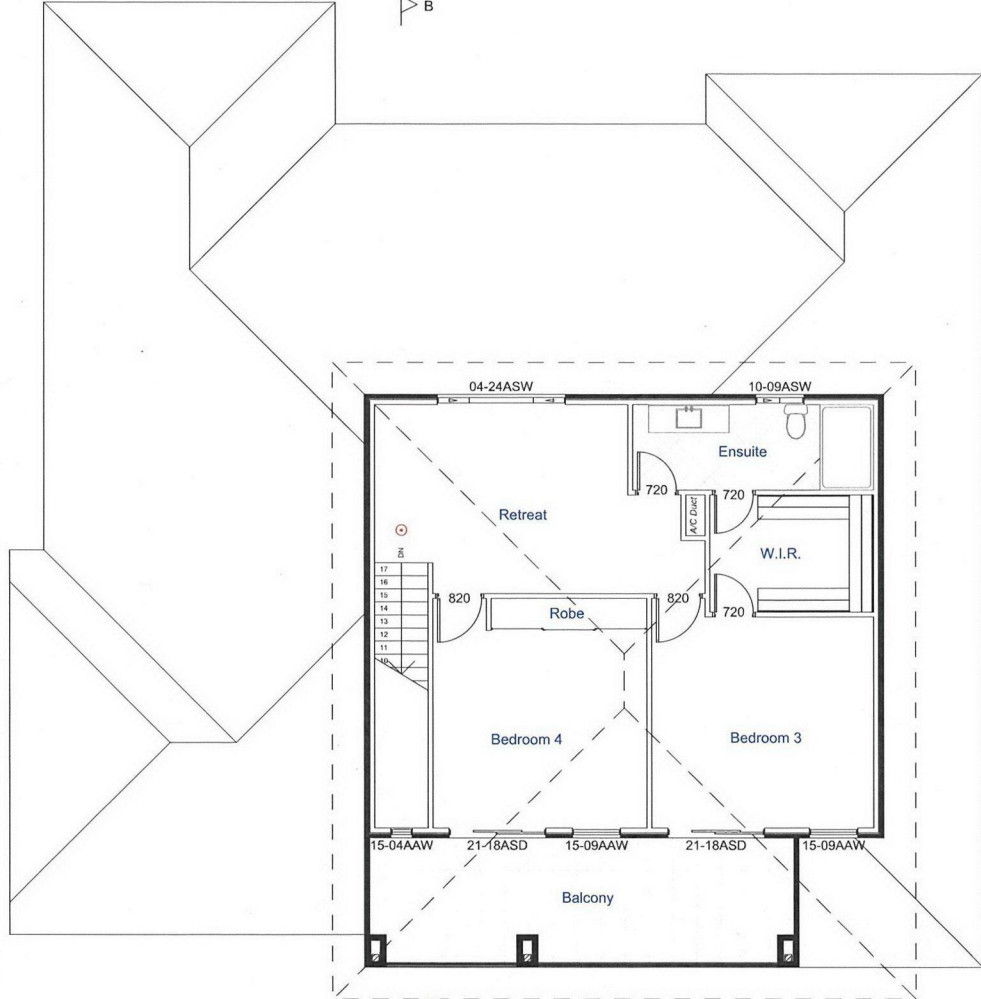
A3

1

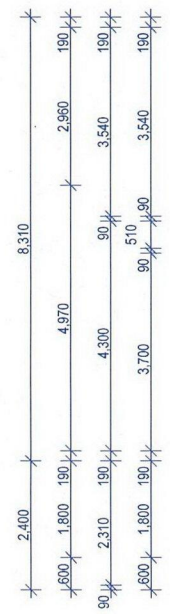
Floor Plan
1:100



B



A

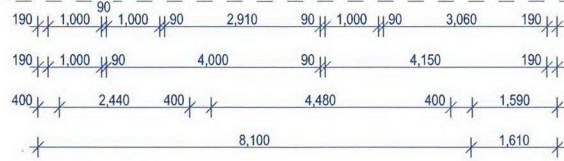
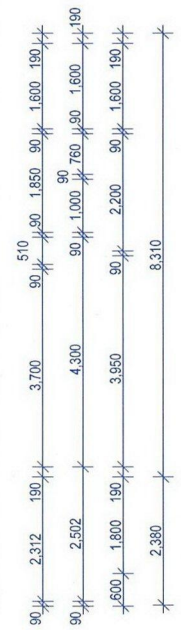


Living
 A: 80.69 m²

Balcony
 A: 19.49 m²



A



B

Building Schedule	
Roof	
Cladding :	Monier Cement Tiles
Colour:	"Barramundi"
Pitch:	17.5 Degree
Eaves Overhang:	600mm
Walls - Floor	
Construction:	Brick Veneer
Finish:	Face Brick
Colour:	PGH Modern Living "Biscuit"
Front Elevation - Floor	
Construction:	Brick Veneer
Finish:	Textured (Smooth) and Painted
Colour:	Dulux "Tranquil Retreat"
Walls - Upper Floor	
Construction:	Timber Framed, Power Panel External Cladding
Finish:	Textured (Smooth) and Painted
Colour:	Dulux "Tranquil Retreat"
Portico	
Construction:	Brick
Finish:	Face Brick
Colour:	PGH Altitude "Olympus"
Windows	
Type:	Aluminium
Colour:	Colorbond "Basalt"
Balustrade	
Type:	Aluminium Frame, Glass Panel
Colour:	Colorbond "Basalt"
Trim Colours	
Facia:	Colorbond "Basalt"
Gutters:	Colorbond "Basalt"
Downpipes:	Colorbond "Basalt"

ATTACHMENT 2.3

Proposed Residence (Lot 1)
 at 282 Seacombe Road
 Seacliff Park, S.A., 5049
 for K. Kashef

Final Drawings - Planning
 Date: 11/06/20
 Drawn By: MHH

*Dimensions Take Preference Over Scale.
 All Dimensions Are To Be Checked On Site.*

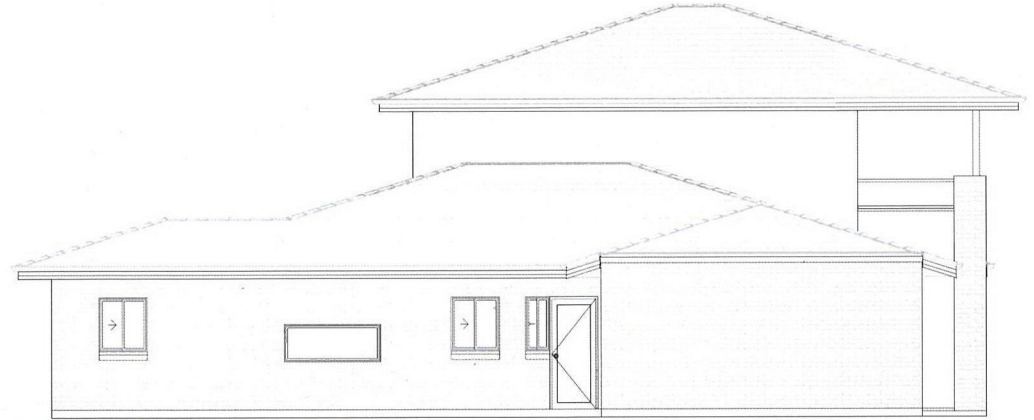
 Maurice H Flood 60 Sir James Hardy Way Woodcroft SA 5162 Phone 08 8322 2287 Mobile 0418 894 294 Email: maurice@wilcotdrafting.com	Drawing Ref No WD1767
	2 of 9 A3

1 Upper Floor Plan 1:100

ATTACHMENT 2.4



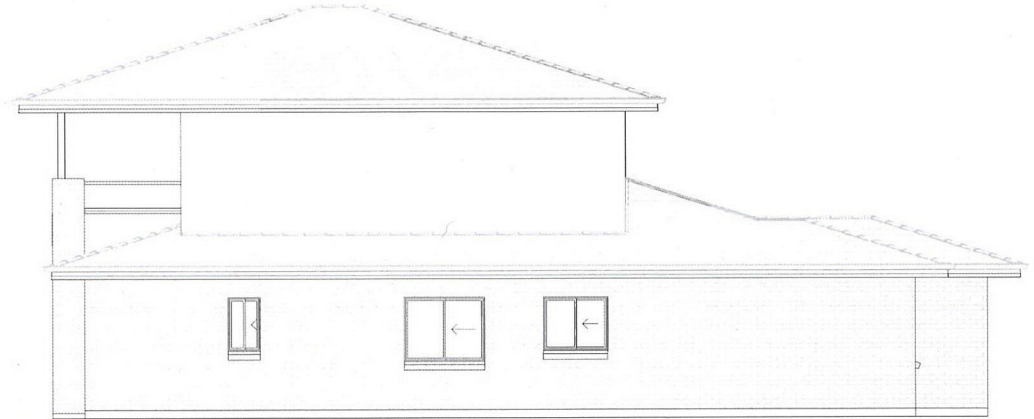
1 Northern Elevation
1:100



2 Eastern Elevation
1:100



3 Southern Elevation
1:100



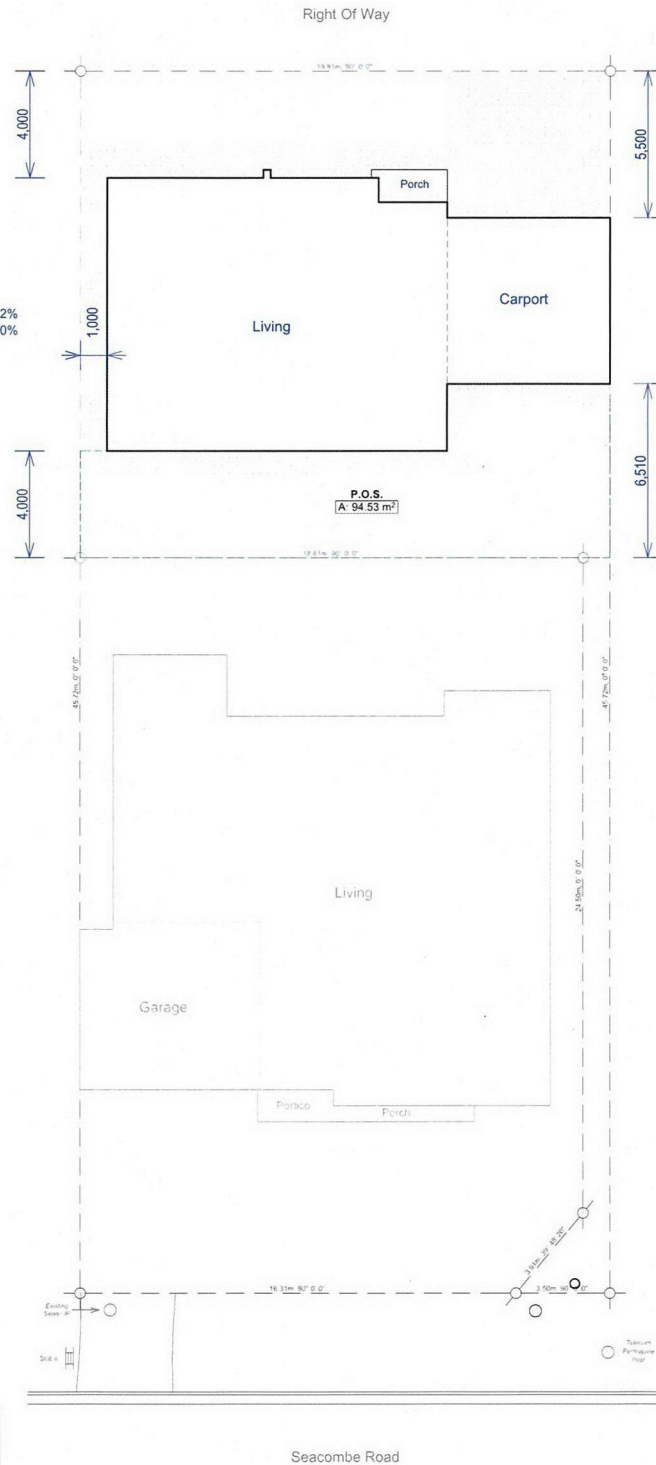
4 Western Elevation
1:100

Wilcot Drafting
 M. Bruce H. Hood
 4050 Lakeshore Road - 1000
 Woodstock, VA 22664
 Phone: 540-332-2287
 Mobile: 540-894-2294
 Email: mhoo@wilcotdrafting.com

Proposed Residence (Lot 1) at 282 Seacombe Road Seacliff Park, S.A., 5049 for K. Kashef	Final Drawings - Planning Date: 11/06/20 Drawn By: MHH	Drawing Ref. No. WD1767
	<i>Dimensions Take Preference Over Scale.</i> <i>All Dimensions Are To Be Checked On Site.</i>	3 of 9 A3

ATTACHMENT 2.5

Lot Size 394m²
 Building Footprint 168.75m² 42.82%
 Private Open Space 94.53m² 24.00%



Volume 5718 Folio 182
 Map HoB/11
 Residential

1 **Site Plan**
 1:200

Wilcot Drafting

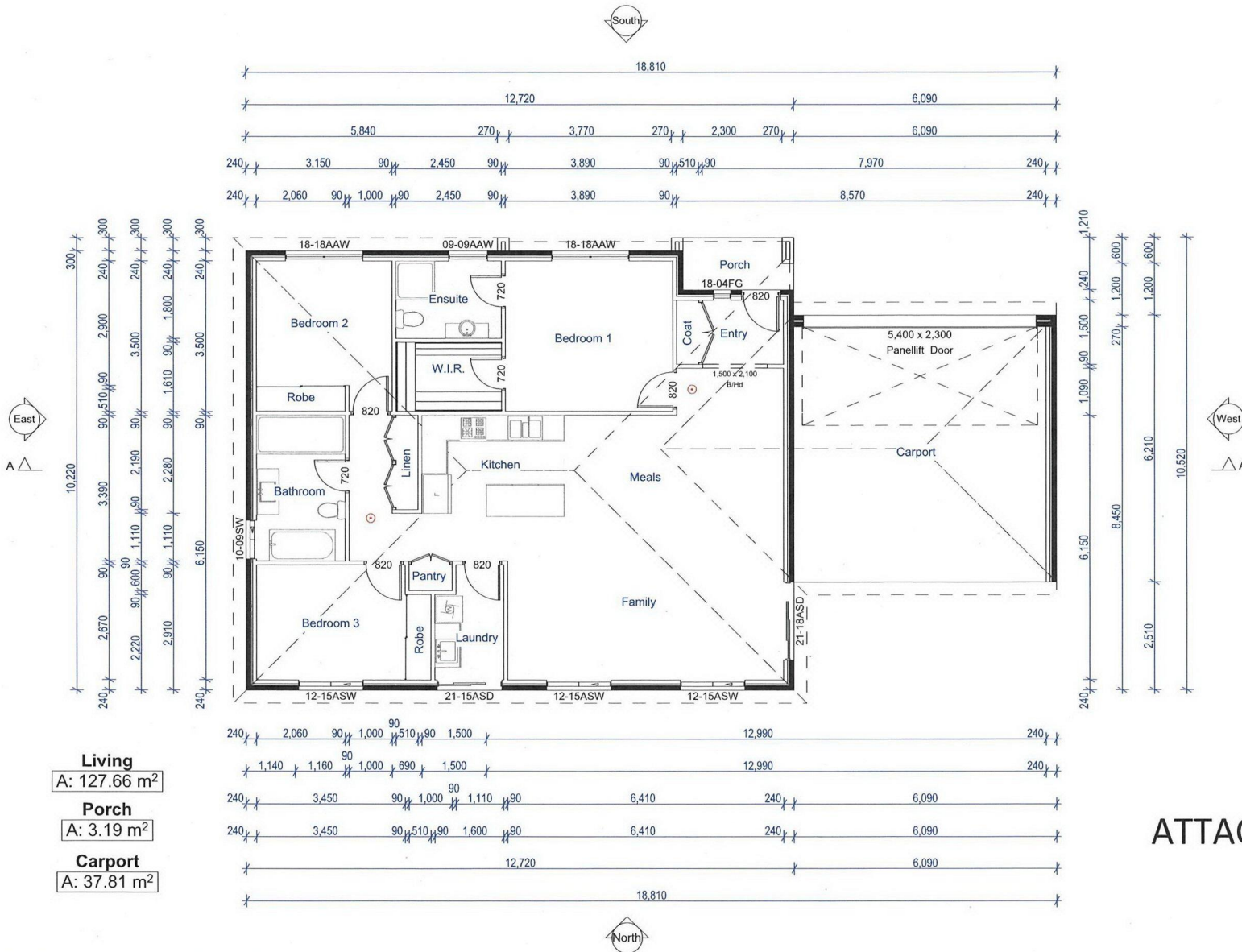
Maurice H. Hsieh
 40 St James North Way
 Woodmont SA 5142
 Phone 08 8322 2287
 Mobile 08 8399 2384
 Email maurice@wilcotdrafting.com

Proposed Residence (Lot 2)
 at 282 Seacombe Road
 Seacliff Park, S.A., 5049
 for K. Kashef

Final Drawings - Planning
 Date: 11/06/20
 Drawn By: MHH
 Dimensions Take Preference Over Scale.
 All Dimensions Are To Be Checked On Site.

Drawing Ref. No.
 WD1767
 8 of 9
A3

- SMOKE DETECTOR TO BE HARD WIRED WITH 9v BATTERY BACKUP TO COMPLY WITH AS3786 - 2014
- W.C. DOORS TO COMPLY TO B.C.A. - F2.5(b)
- WET AREAS TO COMPLY WITH AS3740 - 2010
- WINDOWS TO COMPLY WITH AS2047 - 1999 "GLASS IN BUILDINGS"
- PERIMETER PAVING TO BE 75mm BELOW D.P.C.
- 50mm REBATE TO PERIMETER OF CONCRETE SLAB
- BIFLEX or SIMILAR TERMITE TREATMENT TO COMPLY WITH AS3600.1 - 2014



Living
A: 127.66 m²

Porch
A: 3.19 m²

Carport
A: 37.81 m²

ATTACHMENT 2.6

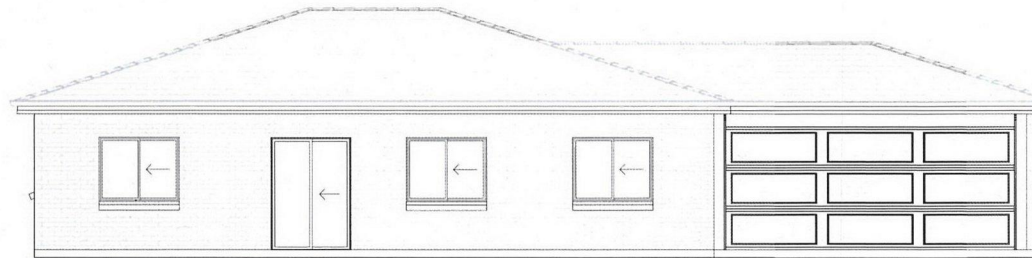
1 **Floor Plan**
1:100

Wilcot Drafting

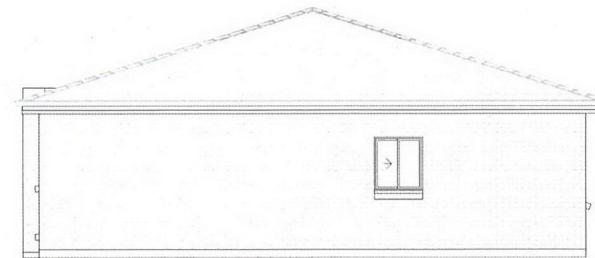
Maurice H Hood
40 Sir James Hardy Way
Woodcroft, SA 5162
Phone 08 8322 2287
Mobile 04 18 894 234
Email: maurice@wilcotdrafting.com

<p>Proposed Residence (Lot 2) at 282 Seacombe Road Seacliff Park, S.A., 5049 for K. Kashef</p>	<p>Final Drawings - Planning Date: 11/06/20 Drawn By: MHH</p>	<p>Drawing Ref No: WD1767</p>
	<p>Dimensions Take Preference Over Scale. All Dimensions Are To Be Checked On Site.</p>	<p>6 of 9 A3</p>

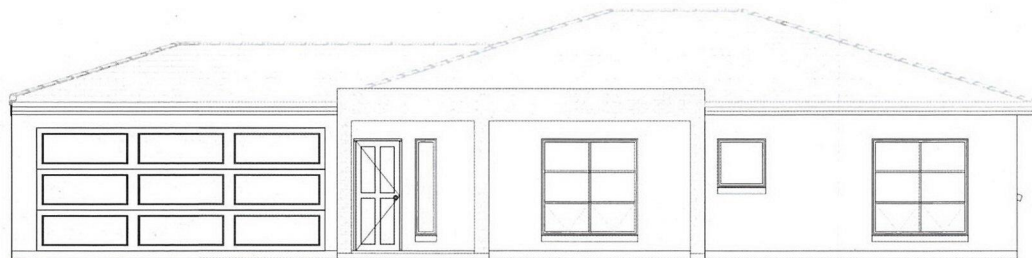
ATTACHMENT 2.7



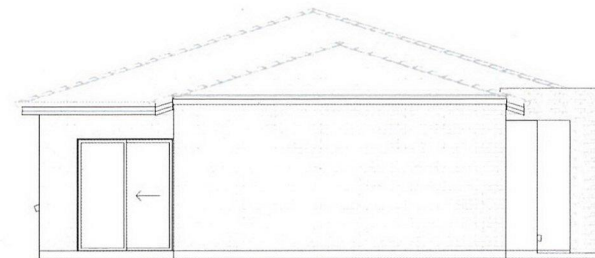
1 Northern Elevation
1:100



2 Eastern Elevation
1:100



3 Southern Elevation
1:100



4 Western Elevation
1:100

Building Schedule

Roof	
Cladding :	Monier Cement Tiles
Colour:	"Barramundi"
Pitch:	17.5 Degree
Eaves Overhang:	300mm
Walls - Floor	
Construction:	Brick Veneer
Finish:	Face Brick
Colour:	PGH Modern Living "Biscuit"
Front Elevation - Floor	
Construction:	Brick Veneer
Finish:	Textured (Smooth) and Painted
Colour:	Dulux "Tranquil Retreat"
Portico	
Construction:	Timber Framed, Cement Sheet Cladding
Finish:	Feature Stone
Colour:	Honed Wall Cladding "Bluestone"
Windows	
Type:	Aluminium
Colour:	Colorbond "Basalt"
Trim Colours	
Facia:	Colorbond "Basalt"
Gutters:	Colorbond "Basalt"
Downpipes:	Colorbond "Basalt"



5 Section A-A
1:100

Wilcot Drafting

Murray M. Hood
 40 St James Road
 Woodcroft S.A. 5142
 Phone 08 8322 2287
 Mobile 0818 894 234
 Email: murray@wilcotdrafting.com

Proposed Residence (Lot 2)
at 282 Seacombe Road
Seacliff Park, S.A., 5049
for K. Kashef

Final Drawings - Planning

Date: 11/06/20

Drawn By: MHH

Dimensions Take Preference Over Scale.
All Dimensions Are To Be Checked On Site.

Drawing Ref. No
 WD1767

7 of 9

A3

ATTACHMENT 3.0

In reply please quote: 2020/00277, Process ID: 631476
Enquiries to: Daniel Sladic
Telephone: 7109 7872
E-mail: dpti.luc@sa.gov.au



Government of South Australia

Department of Planning,
Transport and Infrastructure

TRANSPORT PLANNING AND
PROGRAM DEVELOPMENT

Transport Assessment

GPO Box 1533
ADELAIDE SA 5001

ABN 92 366 288 135

23 July 2020

Dean Spasic
City of Holdfast Bay
24 Jetty Road
BRIGHTON SA 5048

Dear Mr Spasic

SCHEDULE 8 - REFERRAL RESPONSE

Development No.	110/00418/20
Applicant	Maurice Hood
Location	282 Seacombe Road, Seacliff Park
Proposal	Two detached dwellings (one fronting Seacombe Road)

I refer to the above development application forwarded to the Commissioner of Highways (CoH) in accordance with Section 37 of the *Development Act 1993*. The proposed development involves development adjacent a main road as described above.

The following response is provided in accordance with Section 37(4)(b) of the *Development Act 1993* and Schedule 8 of the *Development Regulations 2008*.

CONSIDERATION

The application proposes to construct a two-storey dwelling utilising an existing crossover to Seacombe Road, an arterial road under the care, control and management of the CoH. At this location Seacombe Road carries approximately 12,800 vehicles per day (4% commercial vehicles) and has a posted speed limit of 60 km/h.

The Department of Planning, Transport and Infrastructure (DPTI) supports the dwelling to the rear gaining all access via the adjacent laneway and the proposed two-storey dwelling gaining access via the existing crossover on Seacombe Road. Council should be satisfied that sufficient on-site area is available in order for vehicles to achieve forward entry and exit to Seacombe Road. All on-site vehicle manoeuvring areas should remain clear of any impediments.

ADVICE

DPTI supports the proposed development and advises the planning authority to attach the following conditions to any approval:

1. All access to/from the development shall be gained in accordance with the site plan produced by Wilcot Drafting, Drawing No. WD1767, dated 3 April 2020.
2. All vehicles shall enter and exit the site in a forward direction.
3. The access and all on-site vehicle manoeuvring areas shall remain clear of any impediments.

#15800165

ATTACHMENT 3.1

4. Stormwater run-off shall be collected on-site and discharged without jeopardising the integrity and safety of the adjacent road network. Any alterations to the road drainage infrastructure required to facilitate this shall be at the applicant's cost.

Yours sincerely



A/MANAGER, TRANSPORT ASSESSMENT
for **COMMISSIONER OF HIGHWAYS**

A copy of the decision notification form should be forwarded to dpti.developmentapplications@sa.gov.au

STATEMENT OF REPRESENTATION

Pursuant to Section 38 of the Development Act, 1993

To: City of Holdfast Bay
Development Services
PO Box 19
BRIGHTON SA 5048

(Please mark to the attention of the relevant contact officer)

Telephone: (08) 8229 9862; Facsimile: (08) 8298 4561 or Email: mail@holdfast.sa.gov.au

Development Number Please quote 110/248/200

Name of person(s) making representation: Lyndall Thomas

Address: 2 Ophir Cres Seacliff Pk

Contact no. 0417851064

Nature of interest affected by development:

(eg adjoining resident, owner of land in vicinity, on behalf of an organisation or company etc)

my property is on the corner of Ophir Cres and the lane that one of the new dwellings will face into

Reasons for representation:

Allowing another property/house to face into the lane way will increase the amount of traffic and cars parked

The current house that faces the lane often has cars parked in the lane which is not wide enough.

People who live in house facing the lane place their rubbish bins in front of houses in Ophir Cres and another property will likely do the same. This makes it

My representation would be overcome by: hard for the rubbish collectors as there are usually cars parked as well.

Only allow access to both proposed new dwelling via Seacombe Rd

A copy of the representation above will be forwarded to the applicant for a written response before being presented at the next available development assessment panel meeting.

In the case of Category 2 and 3 developments please indicate in the appropriate box below whether or not you wish to be heard by the city of holdfast bay development assessment panel in respect to the above submission. Please note that there are no speaking rights for Category 1 development.

- I do not wish to be heard
I desire to be heard personally
I will be represented by

(Please specify)

Please note that there are no rights of appeal for Category 1 and 2 developments (according to Development Act and Regulations, 1993).

Signed [Signature]

Date 22/7/20



STATEMENT OF REPRESENTATION

Pursuant to Section 38 of the Development Act, 1993

To: City of Holdfast Bay
Development Services
PO Box 19
BRIGHTON SA 5048
08 8229 9862

ATTACHMENT 4.1

(Please mark to the attention of the relevant contact officer)

Development Number: Please quote 110/00418/20

Name of person(s) making representation: Yvette Smart

Address: Unit 1, 280 Seacombe Road, Seacliff Park

Contact no: 0438814517

Nature of interest affected by development:

(eg adjoining resident, owner of land in vicinity, on behalf of an organisation or company etc)
adjoining resident

Reasons for representation:

Concern for having another property facing the laneway with no access to the property from the actual address of Seacombe Road. The existing property which does this has problems with taxis, deliveries, ambulances etc, parking and placement of bins. The beginning of Ophir cres is congested already with cars and bins. Due to this the existing property in the lane parks the overflow cars in the lane. Also the lack of care for the existing rental property, by the owner, in the lane is an issue.

My representation would be overcome by:

(State action sought)

Access to the property from Seacombe Road or naming the lane and making it a road? bins can be collected from the actual properties and parking should be monitored. The assurance that another property facing the lane, if a rental will be looked after and not devalue the area further.

A copy of the representation above will be forwarded to the applicant for a written response before being presented at the next available development Council Assessment Panel meeting.

In the case of Category 2 and 3 developments please indicate in the appropriate box below whether or not you wish to be heard by the City of Holdfast Bay Council Assessment Panel in respect to the above submission.

Please note that there are no speaking rights for Category 1 development.

- I do not wish to be heard
- I desire to be heard personally
- I will be represented by _____

Please specify

Please note that there are no rights of appeal for Category 1 and 2 developments

(according to Development Act and Regulations, 1993).

SIGNATURE _____

DATED: / /

ATTACHMENT 4.2

Dean Spasic

From: City of Holdfast Bay <webforms@holdfast.sa.gov.au>
Sent: Friday, 17 July 2020 8:36 AM
To: Holdfast Mail
Subject: New submission from Contact Us

Submitted on: 2020-07-17 08:35:46

Contact Us

First Name Fiona

Last Name Bolton

Address 7 Nardoo St, Hallett Cove

Email swpadelaide@gmail.com

Post Code 5158

State South Australia

Suburb Seacliff Park

Phone 0416419142

Message

DEVELOPMENT # 110/00418/20: I am the owner of Unit 2, 280 Seacombe Rd Seacliff Park, which adjoins the proposed development. Having examined the application and visited the proposed site on July 17, it is apparent that the privacy of residents of the adjoining units would be compromised by the inclusion of an upper level balcony on the development. I believe the Council Assessment Panel should give due consideration to the impact the development will have on the privacy of the residents of the adjoining units, and take whatever steps are necessary to rectify this issue. In this instance, the removal/re-design of the proposed balcony may suffice. I am willing to appear personally in support of this submission. Fiona Bolton

WITHDRAWN FOLLOWING CONFIRMATION THAT
UPPER LEVEL WINDOWS WILL BE OBSCURED