

DEVELOPMENT NO.:	23009117
APPLICANT:	Scott Salisbury Homes
ADDRESS:	6 HAMILTON ST SOMERTON PARK SA 5044
NATURE OF DEVELOPMENT:	2 x two-storey detached dwellings with swimming pools and associated fencing and retaining walls
ZONING INFORMATION:	Zones: <ul style="list-style-type: none"> • General Neighbourhood Overlays: <ul style="list-style-type: none"> • Airport Building Heights (Regulated) • Affordable Housing • Building Near Airfields • Hazards (Flooding - General) • Prescribed Wells Area • Regulated and Significant Tree • Stormwater Management • Urban Tree Canopy
LODGEMENT DATE:	3 Apr 2023
RELEVANT AUTHORITY:	Assessment Panel at City of Holdfast Bay
PLANNING & DESIGN CODE VERSION:	2023.5
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Alexander Stamatopoulos Development Planner
REFERRALS STATUTORY:	Nil
REFERRALS NON-STATUTORY:	Nil

CONTENTS:

APPENDIX 1:	Relevant P&D Code Policies	ATTACHMENT 2:	Representations
ATTACHMENT 1:	Application Documents	ATTACHMENT 3:	Response to Representations

DETAILED DESCRIPTION OF PROPOSAL:

The application is for two, two storey detached dwellings with swimming pools, associated fencing and retaining walls. The western dwelling contains four bedrooms with their own ensuites, a study area, double garage, a separate living area on the lower floor, laundry and open living areas. An alfresco leads to the rear yard which comprises landscaping and swimming pool. Access will be via an existing crossover.

The eastern dwelling contains a near identical footprint however only the master bedroom contains an ensuite, the remainder of the bedrooms are serviced by a separate bathroom and powder room. A rear alfresco and swimming pool is also proposed. Access via the site will be via a 4.5m wide crossover with adequate clearance from the Council street trees.

Both dwellings contain architecturally designed façades that contain an array of design features, colours and materials. The front and rear yards of the dwelling will be landscaped with a variety of plantings. Boundary retaining walls up to 750mm will result from associated earthworks. There are no regulated trees on the site.

BACKGROUND:

A land division application was lodged for the subject site (Application ID 22032294) which sought to formally create the allotments that are proposed in this land use application. The application was granted planning consent by an accredited planning certifier and subsequently development approval was issued by the Council.

SUBJECT LAND & LOCALITY:**Site Description:**

Location reference: 6 HAMILTON ST SOMERTON PARK SA 5044

Title ref.: CT 5471/356 **Plan Parcel:** F17444 AL2 **Council:** CITY OF HOLDFAST BAY

The subject site contains a 24m frontage and a depth of 39.62m resulting in a total area of 950sqm. The dwellings will be located on their own individual allotments. Each allotment contains a 12m frontage and 39.62m depth totalling site areas of 475sqm each. The site is currently vacant.



Above: Subject site



Above: Locality highlighted in red and is located entirely in the General Neighbourhood Zone (shaded grey).

The locality contains a relatively consistent built form with detached dwellings dominating the landscape. There are some examples of 1970's residential flat buildings to the north and east of the site. Dwelling heights in the locality are varied up to two storeys. Infill development is evident primarily to the southern side of Whyte Street.

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
 - Swimming pool, spa pool or associated safety features: Code Assessed - Performance Assessed
 - New housing
 - Detached dwelling: Code Assessed - Performance Assessed
 - Fences and walls
 - Fence, Retaining wall: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
 - Code Assessed - Performance Assessed
- **REASON**
 - P&D Code

PUBLIC NOTIFICATION

- **REASON**
 - The dwelling height does not satisfy General Neighbourhood Zone DTS/DPF 4.1m as the wall heights exceeds 7m.

• LIST OF REPRESENTATIONS

Summary of Representors			
Address of Representor	Position	Wish to be heard	Concerns
Ian Flint of 8 Hamilton Street Somerton Park	Supports the development with some concerns	No	- Overlooking concerns from western upper level window
Michael Burdett of 51A Whyte Street Somerton Park	Supports the development with some concerns	No	- Excessive site build up resulting in high combined retaining wall and fencing heights
Michael and Andrea of 51 Whyte Street Somerton Park	Support the development with some concerns	No	- Queries the future fencing of the development

See representation map below. The representors are highlighted in red.



• SUMMARY

The applicant engaged URPS to provide a response to the representations raised. Specifically, the response elaborates on the following issues raised:

- Overlooking; and
- Earthworks and retaining walls.

The response summarises the concerns raised by referencing the relevant assessment provisions of the code.

AGENCY REFERRALS

Nil

INTERNAL REFERRALS

Nil

PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

Quantitative Provisions

	Proposed	DPF Requirement	Achieved
Building Height	<p><u>Western Dwelling</u> Two levels and 7.6m Wall Height 7.6m</p> <p><u>Eastern Dwelling</u> Two levels and 8.2m Wall Height 6.5m</p>	<p>2 levels and 9m Wall Height 7m</p>	<p>Yes No</p> <p>Yes Yes</p>
Boundary Development	<p><u>Western Dwelling</u> Nil</p> <p><u>Eastern Dwelling</u> Length 6.4m Height 2.9m</p>	<p>11.5m and 45% of the total boundary 3m height from footing</p>	<p>Yes Yes</p>
Primary Setback	<p>5.5m (Both dwellings)</p>	<p>1m in front of average of adjoining 4 Hamilton – primary setback 8m 8 Hamilton – primary setback 5.5m <u>Quantitative requirement = 5.75m</u></p>	<p>No – 250mm minor shortfall</p>
Rear Setback	<p><u>Western Dwelling</u> 9.6m – lower level 6.2m - upper level</p> <p><u>Eastern Dwelling</u> 4.9m – lower level 14m - upper level</p>	<p>4 metres at ground level 6 metres at upper level</p>	<p>Yes Yes</p> <p>Yes Yes</p>
Side Setbacks	<p><u>Western Dwelling</u> <u>Ground level western wall</u> 1m <u>Ground level eastern wall</u> 1.3m to 2.3m <u>Upper level western</u> 2.7m to 4m <u>Upper level eastern</u> 2.1m to 4.6m</p> <p><u>Eastern Dwelling</u> <u>Ground level western wall</u> 1m to 3.9m <u>Ground level eastern wall</u> 1m to 2.2m <u>Upper level western</u> 2.7m to 3.9m <u>Upper level eastern</u> 2.1m</p>	<p>Ground level wall 900mm Upper level wall 2.4m</p> <p>Ground level wall 900mm Upper level wall 2.3m</p>	<p><u>Western dwelling</u> Eastern upper level wall shortfall noted</p> <p><u>Eastern dwelling</u> Eastern upper level wall shortfall noted</p>

	Proposed	DPF Requirement	Achieved
Site Coverage	45% (Western dwelling) 48% (Eastern dwelling)	60%	Yes
Private Open Space	115sqm (Western dwelling) 112sqm (Eastern dwelling)	60 square metres	Yes
Soft Landscaping	17.6% (Western dwelling) 23% (Eastern dwelling)	25% of the site area	No
Front Yard Landscaping	35% (Western dwelling) 42% (Eastern dwelling)	30% of the front yard	Yes
Tree Planting	1 medium tree (Both dwellings)	2 small trees or 1 medium tree	Yes
On-site parking	2 spaces	2 spaces	Yes

The aspects of the assessment that require further discussion are shown below

Building Height

The relevant assessment provisions are shown below:

PO 4.1

Buildings contribute to a low-rise suburban character.

DTS/DPF 4.1

Building height (excluding garages, carports and outbuildings) no greater than:

- a) 2 building levels and 9m
and
- b) wall height that is no greater than 7m except in the case of a gable end.

A numerical variance was noted where the wall heights of the western dwelling exceed the DPF 4.1(b). The wall height is 7.6m where 7m is the numerical requirement. A section of walling associated with the staircase of the eastern dwelling exceeds DPF 4.1(b) however it is only a small component of the overall built form.

PO 4.1 is the outcome that needs to be satisfied and the test is whether the western dwelling contributes to the *low-rise* suburban character of the locality. *Low-rise is defined as:*

In relation to development, means up to and including 2 building levels.

Both subject dwellings are two levels, therefore, meeting the definition of *low-rise*. The excessive wall height of the western dwelling is not considered to be unreasonable as it results from the overall architectural design outcome sort by the applicant. The internal ceiling heights of both levels are 3m and are not excessive. It is common for two-storey dwellings that contain parapet-dominant designs to result in high vertical walling as opposed to dwellings with pitched roofing. The western dwelling will not be out of character with locality and satisfies the intent of PO 4.1.

Side Setbacks

The internal upper-level side boundaries of the western dwelling contains setbacks that vary from 2.175m to 4.665m. The section of wall setback 2.175m spans a length of 12.2m, the wall setback 2.34m spans 5.9m and the wall setback 4.665m spans 4.4m. The quantitative policy anticipates a 2.4m upper-level side setback relative to the wall height of

the dwelling. A numerical shortfall was also noted regarding the eastern upper level wall of the eastern dwelling. The policy anticipates a 2.3m quantitative setback however a 2.185m setback is provided. The relevant assessment provisions are shown below

PO 8.1

Building walls are set back from side boundaries to provide:

- a) separation between dwellings in a way that contributes to a suburban character and*
- b) access to natural light and ventilation for neighbours.*

DTS/DPF 8.1

Other than walls located on a side boundary, building walls are set back from side boundaries:

- a) at least 900mm where the wall height is up to 3m*
- b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m and*
- c) at least 1900mm plus 1/3 of the wall height above 3m for walls facing a southern side boundary.*

From a quantitative perspective, the shortfalls of 225mm for the western dwelling and 125mm are negligible. The north-south orientation of the site will allow adequate access to sunlight to adjoining neighbours and ventilation will not be impacted. The separation between buildings will be maintained consistent with the established built form along Hamilton Street and the wider locality. PO 8.1 is satisfied.

Primary Setback

The setbacks of the adjoining dwellings to the west and east are as follows:

- 4 Hamilton – primary setback 8m
- 8 Hamilton – primary setback 5.5m

The relevant setback policy is shown below:

PO 5.1

Buildings are setback from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape.

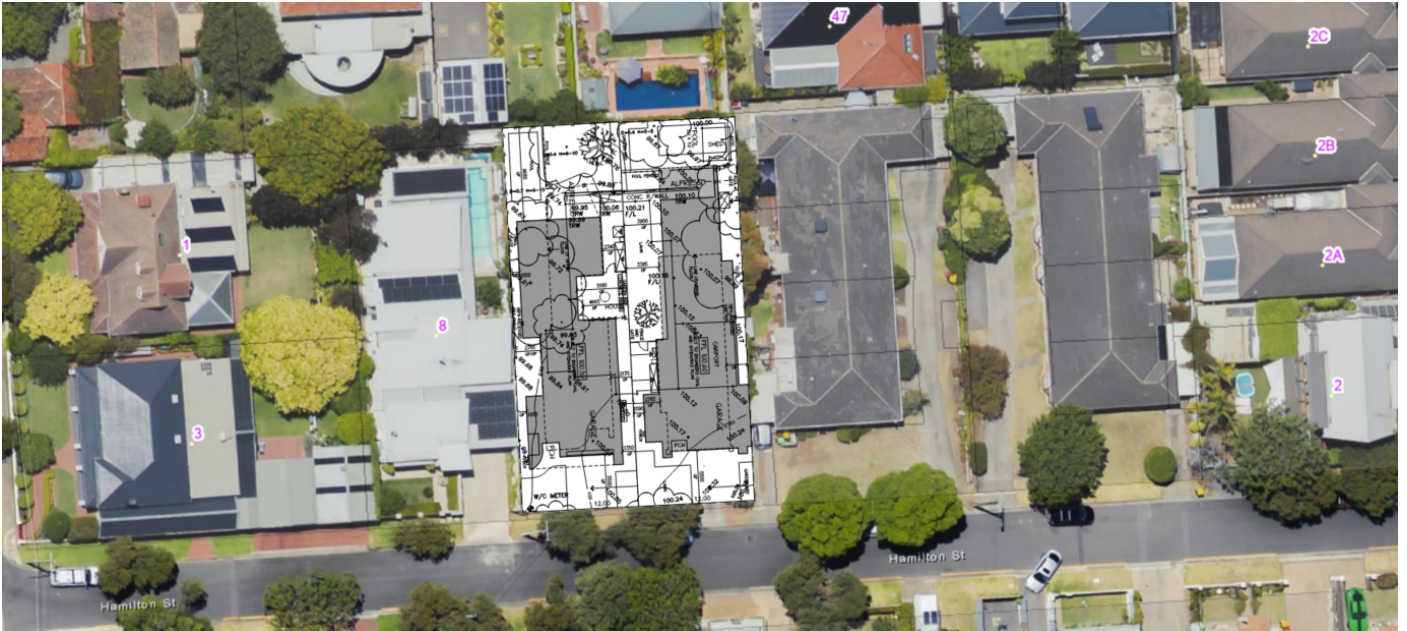
DTS/DPF 5.1

The building line of a building set back from the primary street boundary:

- a) no more than 1m in front of the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment)*

The quantitative setback distance to be satisfied is 5.75m which is the average of the adjoining setback minus 1m. Both dwellings contain a primary setback of 5.5m which results in a minor 250mm shortfall. The northern side of Hamilton Street contains 3 sites that contain primary frontages to the road. These sites include the subject land, the

detached dwelling located at 8 Hamilton Street to the west and the residential flat building to the east, 4 Hamilton Street. The aerial below shows the dwellings superimposed on the subject land to give a visual approximation of how they will site in relation to the established adjoining dwellings.



It was noted that there is a substantial amount of boundary development along the Hamilton Street boundary associated with the corner allotment to the west, 3 Grosvenor Street Somerton Park. See photo below



The primary setbacks of the dwellings are suitable for a site where two dwellings will replace a single home. The policy anticipates primary setbacks being closer to the street where infill development occurs. Allotments become half of what they originally were which contributes to an emerging setback pattern in zones where infill development is anticipated.

Soft Landscaping

The western dwelling contains 17.6% soft landscaping and the eastern dwelling 23%. The quantitative policy anticipates 25% soft landscaping per dwelling. See applicable policies below:

PO 22.1

Soft landscaping is incorporated into development to:

- a) minimise heat absorption and reflection
- b) contribute shade and shelter
- c) provide for stormwater infiltration and biodiversity
- d) enhance the appearance of land and streetscapes.

DTS/DPF 22.1

Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):

- a) a total area as determined by the following table:

Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site
<150	10%
150-200	15%
>200-450	20%
>450	<u>25%</u>

- b) at least 30% of any land between the primary street boundary and the primary building line.

In response to the percentage shortfall, the applicant has opted to plant a surplus of plantings across both of the allotments that well surpass the mandatory requirements of the Urban Tree Canopy Overlay. Refer to attachments 1.2 and 1.10. PO 22.1 is considered to be satisfied.

Earthworks and Sloping Land

The site works plan shows the existing ground levels and finished floor level of the dwellings. The site will be subject to fill up to 700mm from the existing ground level toward the rear of the land. The relevant assessment provisions relating to earthworks is shown below:

PO 8.1

Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.

DTS/DPF 8.1

Development does not involve any of the following:

- a) *excavation exceeding a vertical height of 1m*

- b) *filling exceeding a vertical height of 1m*
- c) *a total combined excavation and filling vertical height of 2m or more.*

It is noted that retaining walls up to 750mm at their highest toward the rear of the land to cater for the 700mm filling of the site. The earthworks are considered to be reasonable when considering the quantitative policy anticipates up to 1m of fill. PO 8.1 is satisfied.

CONCLUSION

The application seeks to construct two dwellings that will assimilate well with the existing built form of the locality. It is noted that components of the dwelling do not align with some assessment provisions of the Planning and Design Code. However, the impacts of the shortfalls are not considered to unreasonably impact the adjoining properties. The dwellings will contain an appropriate appearance to the streetscape and will integrate well with the current infill development in the locality.

RECOMMENDATION

Planning consent

It is recommended that the Council Assessment Panel resolve that:

1. Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and
2. Development Application Number 23009117, by Scott Salisbury Homes is granted Planning Consent subject to the following conditions:

CONDITIONS

Planning Consent

1. The development granted approval shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).
2. Rainwater tank(s) must be installed in accordance with DTS/DPF 1.1 of the Stormwater Management Overlay in the Planning and Design Code (as at the date of lodgement of the application) within 12 months of occupation of the dwelling(s).
3. The stormwater disposal system shall cater for a 5 year rainfall event with discharge to the street not to exceed 10 litres per second. Any excess above this flow is to be detained on site.
4. Tree(s) must be planted and/or retained in accordance with DTS/DPF 1.1 of the Urban Tree Canopy Overlay in the Planning and Design Code (as at the date of lodgement of the application). New trees must be planted within 12 months of occupation of the dwelling(s) and maintained.
5. That the associated filter pump must be enclosed in such a way that noise levels do not exceed 45db(a) measured at adjoining property boundaries.

6. That all upstairs windows, other than facing the street, shall have minimum window sill heights of 1.5 metres above finished floor level, or any glass below 1.5 metres shall be obscure and fixed shut and be installed prior to occupation of the dwelling.

OFFICER MAKING RECOMMENDATION

Name: Alexander Stamatopoulos

Title: Development Planner

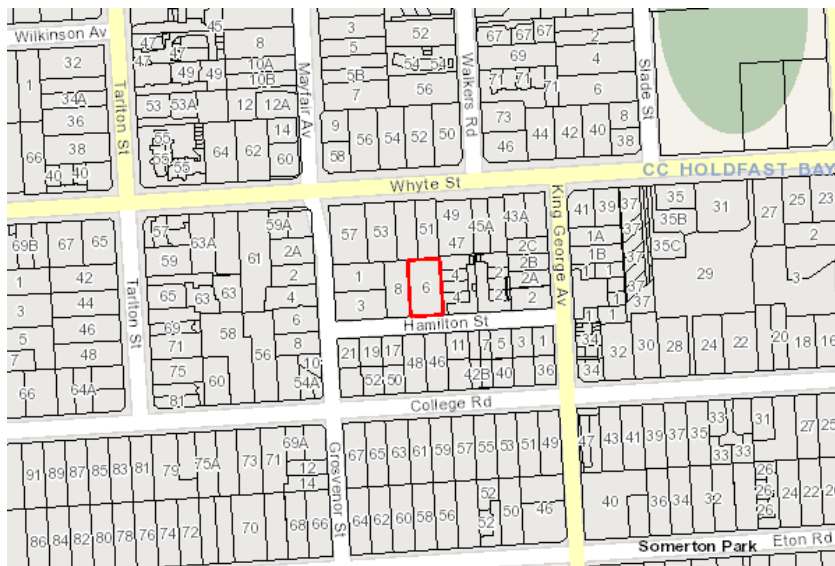
Date: 18/05/2023

6 HAMILTON ST SOMERTON PARK SA 5044

Address:

Click to view a detailed interactive [SAILIS](#) in SAILIS

To view a detailed interactive property map in SAPPA click on the map below



Property Zoning Details

Zone

General Neighbourhood

Overlay

Airport Building Heights (Regulated) (*All structures over 45 metres*)
 Affordable Housing
 Building Near Airfields
 Hazards (Flooding - General)
 Prescribed Wells Area
 Regulated and Significant Tree
 Stormwater Management
 Urban Tree Canopy

Selected Development(s)

Detached dwelling

This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.

If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development

Property Policy Information for above selection

Detached dwelling - Code Assessed - Deemed to Satisfy

Part 2 - Zones and Sub Zones

General Neighbourhood Zone

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Deemed to Satisfy

Site Dimensions and Land Division

DTS/DPF 2.1

Development will not result in more than 1 dwelling on an existing allotment

or

Allotments/sites for residential purposes accord with the following:

Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage
Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on a battle-axe site
Semi-detached dwelling	300m ²	9m
Row dwelling (or detached dwelling in a terrace arrangement)	250m ²	7m (averaged)
Group dwelling	300m ² (average, including common areas)	15m (total)
Dwelling within a residential flat building	300m ² (average, including common areas)	15m (total)

DTS/DPF 2.2

Where the site of a dwelling does not comprise an entire allotment:

- (a) the balance of the allotment accords with site area and frontage requirements specified in General Neighbourhood Zone DTS/DPF 2.1
- (b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development, it will not contravene:
 - (i) Private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space
 - (ii) off-street vehicular parking exists in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.

Site Coverage

DTS/DPF 3.1

The development does not result in site coverage exceeding 60%.

Building Height

DTS/DPF 4.1

Building height (excluding garages, carports and outbuildings) no greater than:

- (a) 2 building levels and 9m
- and
- (b) wall height that is no greater than 7m except in the case of a gable end.

Primary Street Setback

DTS/DPF 5.1

The building line of a building set back from the primary street boundary:

- (a) no more than 1m in front of the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment)
- (b) where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), no more than 1m in front of the setback to the building line of that building
or
- (c) not less than 5m where no building exists on an adjoining site with the same primary street frontage.

Secondary Street Setback

DTS/DPF 6.1

Building walls are set back from the boundary of the allotment with a secondary street frontage:

- (a) at least 900mm
or
- (b) if a dwelling on any adjoining allotment is closer to the secondary street than 900mm, at least the distance of that dwelling from the boundary with the secondary street.

Boundary Walls

DTS/DPF 7.1

Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b) below:

- (a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height
- (b) side boundary walls do not:
 - (i) exceed 3m in height from the top of footings
 - (ii) exceed 11.5m in length
 - (iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary
 - (iv) encroach within 3m of any other existing or proposed boundary walls on the subject land.

DTS/DPF 7.2

Dwelling walls in a semi-detached, row or terrace arrangement are setback at least 900mm from side boundaries shared with allotments outside the development site.

Side boundary setback

DTS/DPF 8.1

Other than walls located on a side boundary, building walls are set back from side boundaries:

- (a) at least 900mm where the wall height is up to 3m
- (b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m

and
- (c) at least 1900mm plus 1/3 of the wall height above 3m for walls facing a southern side boundary.

Rear boundary setback

DTS/DPF 9.1

Dwelling walls are set back from the rear boundary at least:

- (a) if the size of the site is less than 301m²—
 - (i) 3m in relation to the ground floor of the dwelling
 - (ii) 5m in relation to any other building level of the dwelling

- (b) if the size of the site is 301m² or more—
 - (i) 4m in relation to the ground floor of the dwelling
 - (ii) 6m in relation to any other building level of the dwelling.

Part 3 - Overlays

Affordable Housing Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
Land Division
DTS/DPF 1.1 Development results in 0-19 additional allotments / dwellings.

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
Built Form
DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

Building Near Airfields Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy
DTS/DPF 1.3

The distance from any part of a runway centreline to the closest point of the building is not less than 35 times the building height.

Hazards (Flooding – General) Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy

Flood Resilience

DTS/DPF 2.1

Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished ground and floor level not less than:

In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.

Stormwater Management Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy

DTS/DPF 1.1

Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:

- (a) includes rainwater tank storage:
 - (i) connected to at least:
 - A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area
 - B. in all other cases, 80% of the roof area
 - (ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m²
 - (iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m² or greater
 - (iv) with a minimum total capacity in accordance with Table 1
 - (v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank
- (b) incorporates dwelling roof area comprising at least 80% of the site's impervious area

Table 1: Rainwater Tank

Site size (m ²)	Minimum retention volume (Litres)	Minimum detention volume (Litres)

	<200	1000	1000	
	200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A	
	>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A	

Urban Tree Canopy Overlay

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy

DTS/DPF 1.1

Tree planting is provided in accordance with the following:

Site size per dwelling (m ²)	Tree size* and number required per dwelling
<450	1 small tree
450-800	1 medium tree or 2 small trees
>800	1 large tree or 2 medium trees or 4 small trees

*refer Table 1 Tree Size

Table 1 Tree Size			
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)
Small	4 m	2m	10m ² and min. dimension of 1.5m
Medium	6 m	4 m	30m ² and min. dimension of 2m
Large	12 m	8m	60m ² and min. dimension of 4m

The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.

Table 2 Tree Discounts			
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m ² and min. dimension of 1.5m	2 small trees (or 1 medium tree)
6-12m	4-8m	30m ² and min. dimension of 3m	2 medium trees (or 4 small trees)
>12m	>8m	60m ² and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)

Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy

DTS/DPF 1.1

One of the following is satisfied:

- (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the *Electricity Act 1996*
- (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy	
All Development	
On-site Waste Treatment Systems	
DTS/DPF 6.1	<p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Earthworks and sloping land	
DTS/DPF 8.1	<p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
DTS/DPF 8.2	<p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
Overlooking / Visual Privacy (low rise buildings)	
DTS/DPF 10.1	<p>Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:</p> <ul style="list-style-type: none"> (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
DTS/DPF 10.2	<p>One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
All residential development	

Front elevations and passive surveillance

DTS/DPF 17.1

Each dwelling with a frontage to a public street:

- (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m
- (b) has an aggregate window area of at least 2m² facing the primary street.

DTS/DPF 17.2

Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.

Outlook and Amenity

DTS/DPF 18.1

A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.

Residential Development - Low Rise

External appearance

DTS/DPF 20.1

Garages and carports facing a street:

- (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling
- (b) are set back at least 5.5m from the boundary of the primary street
- (c) have a garage door / opening width not exceeding 7m
- (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.

DTS/DPF 20.2

Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:

- (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line
- (b) a porch or portico projects at least 1m from the building wall
- (c) a balcony projects from the building wall
- (d) a verandah projects at least 1m from the building wall
- (e) eaves of a minimum 400mm width extend along the width of the front elevation
- (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm
- (g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.

Private Open Space

DTS/DPF 21.1

Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.

DTS/DPF 21.2

Private open space is directly accessible from a habitable room.

Landscaping

DTS/DPF 22.1

Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):

- (a) a total area as determined by the following table:

Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site
<150	10%
150-200	15%
>200-450	20%
>450	25%

- (b) at least 30% of any land between the primary street boundary and the primary building line.

Car parking, access and manoeuvrability

DTS/DPF 23.1

Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):

- (a) single width car parking spaces:
- (i) a minimum length of 5.4m per space
 - (ii) a minimum width of 3.0m
 - (iii) a minimum garage door width of 2.4m
- (b) double width car parking spaces (side by side):
- (i) a minimum length of 5.4m
 - (ii) a minimum width of 5.4m
 - (iii) minimum garage door width of 2.4m per space.

DTS/DPF 23.2

Uncovered car parking spaces have:

- (a) a minimum length of 5.4m
- (b) a minimum width of 2.4m
- (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.

DTS/DPF 23.3

Driveways and access points satisfy (a) or (b):

- (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site
- (b) sites with a frontage to a public road greater than 10m:
 - (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the

- site;
- (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.

DTS/DPF 23.4

Vehicle access to designated car parking spaces satisfy (a) or (b):

- (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land
- (b) where newly proposed, is set back:
 - (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner
 - (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance
 - (iii) 6m or more from the tangent point of an intersection of 2 or more roads
 - (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.

DTS/DPF 23.5

Driveways are designed and sited so that:

- (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average
- (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary.
- (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site

DTS/DPF 23.6

Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:

- (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)
- (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly
- (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.

Waste storage

DTS/DPF 24.1

Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that:

- (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and
- (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.

Design of Transportable Buildings

DTS/DPF 25.1

Buildings satisfy (a) or (b):

- (a) are not transportable
- (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.

Amenity
DTS/DPF 31.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.
Laneway Development
Infrastructure and Access
DTS/DPF 44.1 Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <p>(a) Site area <301m²: 24m² located behind the building line.</p> <p>(b) Site area ≥ 301m²: 60m² located behind the building line.</p> <p>Minimum directly accessible from a living room: 16m² / with a minimum dimension 3m.</p>
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be uses as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy

Water Supply

DTS/DPF 11.2

A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:

- (a) exclusively for domestic use
- (b) connected to the roof drainage system of the dwelling.

Wastewater Services

DTS/DPF 12.1

Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:

- (a) the system is wholly located and contained within the allotment of development it will service; and
- (b) the system will comply with the requirements of the South Australian Public Health Act 2011.

DTS/DPF 12.2

Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.

Site Contamination

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Deemed to Satisfy

DTS/DPF 1.1

Development satisfies (a), (b), (c) or (d):

- (a) does not involve a change in the use of land
- (b) involves a change in the use of land that does not constitute a change to a more sensitive use
- (c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)
- (d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:
 - (i) a site contamination audit report has been prepared under Part 10A of the *Environment Protection Act 1993* in relation to the land within the previous 5 years which states that-
 - A. site contamination does not exist (or no longer exists) at the land
 - or
 - B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)
 - or
 - C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)
 - and
 - (ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).

Transport, Access and Parking

Assessment Provisions (AP)

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

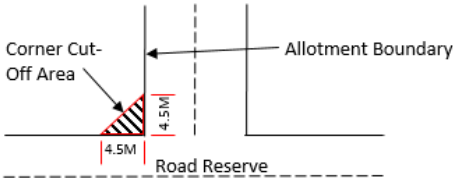
Deemed to Satisfy	
Vehicle Parking Rates	
DTS/DPF 5.1	
Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:	
<ul style="list-style-type: none">(a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements(b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.	
Corner Cut-Offs	
DTS/DPF 10.1	
Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:	
	

Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each

development type.	
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>

Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is: 1 space for each dwelling with a total floor area less than 75 square metres 2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres 3 spaces for each dwelling with a total floor area greater than 150 square metres. Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings	Capital City Zone City Main Street Zone City Riverbank Zone Adelaide Park Lands Zone Business Neighbourhood Zone (within the City of Adelaide) The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone

Table 2 - CriteriaThe following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
<p>The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:</p> <ul style="list-style-type: none"> (a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾ (b) is within 400 metres of a bus interchange⁽¹⁾ (c) is within 400 metres of an O-Bahn interchange⁽¹⁾ (d) is within 400 metres of a passenger rail station⁽¹⁾ (e) is within 400 metres of a passenger tram station⁽¹⁾ (f) is within 400 metres of the Adelaide Parklands. 	<ul style="list-style-type: none"> (a) All zones in the City of Adelaide (b) Strategic Innovation Zone in the following locations: <ul style="list-style-type: none"> (i) City of Burnside (ii) City of Marion (iii) City of Mitcham (c) Urban Corridor (Boulevard) Zone (d) Urban Corridor (Business) Zone (e) Urban Corridor (Living) Zone (f) Urban Corridor (Main Street) Zone (g) Urban Neighbourhood Zone

[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

Detached dwelling - Code Assessed - Performance Assessed

Part 2 - Zones and Sub Zones

General Neighbourhood Zone

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Low-rise, low and medium-density housing that supports a range of needs and lifestyles located within easy reach of services and facilities. Employment and community service uses contribute to making the neighbourhood a convenient place to live without compromising residential amenity.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance
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Feature

Land Use and Intensity

PO 1.1

Predominantly residential development with complementary non-residential uses that support an active, convenient, and walkable neighbourhood.

DTS/DPF 1.1

Development comprises one or more of the following:

- (a) Ancillary accommodation
- (b) Community facility
- (c) Consulting room
- (d) Dwelling
- (e) Educational establishment
- (f) Office
- (g) Place of Worship
- (h) Pre-school
- (i) Recreation area
- (j) Residential flat building
- (k) Retirement facility
- (l) Shop
- (m) Student accommodation
- (n) Supported accommodation

Site Dimensions and Land Division

PO 2.1

Allotments/sites created for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and remain compatible with the pattern of development in a low-rise and predominantly low-density neighbourhood, with higher densities closer to public open space, public transport stations and activity centres.

DTS/DPF 2.1

Development will not result in more than 1 dwelling on an existing allotment

or

Allotments/sites for residential purposes accord with the following:

Dwelling Type	Minimum site/allotment area per dwelling	Minimum site/allotment frontage
Detached dwelling (not in a terrace arrangement)	300m ² (exclusive of any battle-axe allotment 'handle')	9m where not on a battle-axe site 5m where on a battle-axe site
Semi-detached dwelling	300m ²	9m
Row dwelling (or detached dwelling in a terrace arrangement)	250m ²	7m (averaged)
Group dwelling	300m ² (average, including common areas)	15m (total)
Dwelling within a residential flat building	300m ² (average, including common areas)	15m (total)

PO 2.2

Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.

DTS/DPF 2.2

Where the site of a dwelling does not comprise an entire allotment:

- (a) the balance of the allotment accords with site area and frontage requirements specified in General Neighbourhood Zone DTS/DPF 2.1

	<p>(b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development, it will not contravene:</p> <ul style="list-style-type: none"> (i) Private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space (ii) off-street vehicular parking exists in accordance with the rate(s) specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.
<p>PO 2.3</p> <p>Land division results in sites that are accessible and suitable for their intended purpose.</p>	<p>DTS/DPF 2.3</p> <p>Division of land satisfies (a), (b) or (c):</p> <ul style="list-style-type: none"> (a) reflects the site boundaries illustrated and approved in an existing development authorisation under the Development Act 1993 or Planning, Development and Infrastructure Act 2016 where the allotments are used or are proposed to be used solely for residential purposes (b) is proposed as part of a combined land division application with deemed-to-satisfy dwellings on the proposed allotments (c) satisfies all of the following: <ul style="list-style-type: none"> (i) No more than 5 additional allotments are created (ii) Each proposed allotment has a minimum site area of 300m² and frontage of 9m (iii) Each proposed allotment has a slope less than 12.5% (1-in-8) (iv) There are no regulated trees on or within 20m of the subject land, with the distance measured from the base of the trunk of the tree (or the nearest trunk of the tree) to the subject land (v) The division does not involve creation of a public road (vi) Vehicle access from a public road can be provided to all proposed allotments which satisfies Design in Urban Areas DTS/DPF 23.3, 23.4 and 23.6, and would be located wholly on one side of the allotment, or located no more than 1m from the side boundary alignment (vii) No allotments are in a battle-axe configuration and (viii) Each proposed allotment is of a size and dimension capable of containing a rectangle 9m in width and 15m in depth.
Site Coverage	
<p>PO 3.1</p> <p>Building footprints allow sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</p>	<p>DTS/DPF 3.1</p> <p>The development does not result in site coverage exceeding 60%.</p>
Building Height	
PO 4.1	DTS/DPF 4.1

Buildings contribute to a low-rise suburban character.	<p>Building height (excluding garages, carports and outbuildings) no greater than:</p> <ul style="list-style-type: none"> (a) 2 building levels and 9m and (b) wall height that is no greater than 7m except in the case of a gable end.
Primary Street Setback	
<p>PO 5.1</p> <p>Buildings are setback from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape.</p>	<p>DTS/DPF 5.1</p> <p>The building line of a building set back from the primary street boundary:</p> <ul style="list-style-type: none"> (a) no more than 1m in front of the average setback to the building line of existing buildings on adjoining sites which face the same primary street (including those buildings that would adjoin the site if not separated by a public road or a vacant allotment) (b) where there is only one existing building on adjoining sites which face the same primary street (including those that would adjoin if not separated by a public road or a vacant allotment), no more than 1m in front of the setback to the building line of that building or (c) not less than 5m where no building exists on an adjoining site with the same primary street frontage.
Secondary Street Setback	
<p>PO 6.1</p> <p>Buildings are set back from secondary street boundaries to achieve separation between building walls and public streets and contribute to a suburban streetscape character.</p>	<p>DTS/DPF 6.1</p> <p>Building walls are set back from the boundary of the allotment with a secondary street frontage:</p> <ul style="list-style-type: none"> (a) at least 900mm or (b) if a dwelling on any adjoining allotment is closer to the secondary street than 900mm, at least the distance of that dwelling from the boundary with the secondary street.
Boundary Walls	
<p>PO 7.1</p> <p>Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (a) or (b) below:</p> <ul style="list-style-type: none"> (a) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height (b) side boundary walls do not: <ul style="list-style-type: none"> (i) exceed 3m in height from the top of footings (ii) exceed 11.5m in length (iii) when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary (iv) encroach within 3m of any other existing or proposed boundary walls on the subject land.

PO 7.2 Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a suburban streetscape character.	DTS/DPF 7.2 Dwelling walls in a semi-detached, row or terrace arrangement are setback at least 900mm from side boundaries shared with allotments outside the development site.
Side boundary setback	
PO 8.1 Building walls are set back from side boundaries to provide: (a) separation between dwellings in a way that contributes to a suburban character and (b) access to natural light and ventilation for neighbours.	DTS/DPF 8.1 Other than walls located on a side boundary, building walls are set back from side boundaries: (a) at least 900mm where the wall height is up to 3m (b) other than for a wall facing a southern side boundary, at least 900mm plus 1/3 of the wall height above 3m and (c) at least 1900mm plus 1/3 of the wall height above 3m for walls facing a southern side boundary.
Rear boundary setback	
PO 9.1 Dwelling walls are set back from rear boundaries to provide: (a) separation between dwellings in a way that contributes to a suburban character (b) access to natural light and ventilation for neighbours (c) private open space (d) space for landscaping and vegetation.	DTS/DPF 9.1 Dwelling walls are set back from the rear boundary at least: (a) if the size of the site is less than 301m ² — (i) 3m in relation to the ground floor of the dwelling (ii) 5m in relation to any other building level of the dwelling (b) if the size of the site is 301m ² or more— (i) 4m in relation to the ground floor of the dwelling (ii) 6m in relation to any other building level of the dwelling.

Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> (a) the South Australian Housing Trust either individually or jointly with other persons or bodies or (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust. 	Except development involving any of the following: <ul style="list-style-type: none"> 1. residential flat building(s) of 3 or more building levels 2. the demolition of a State or Local Heritage Place 3. the demolition of a building (except an ancillary building) in a Historic Area Overlay.
3. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) air handling unit, air conditioning system or exhaust fan (b) ancillary accommodation (c) building work on railway land (d) carport (e) deck (f) dwelling (g) dwelling addition (h) fence (i) outbuilding (j) pergola (k) private bushfire shelter (l) residential flat building (m) retaining wall (n) retirement facility (o) shade sail (p) solar photovoltaic panels (roof mounted) (q) student accommodation (r) supported accommodation (s) swimming pool or spa pool (t) verandah (u) water tank. 	Except development that: <ul style="list-style-type: none"> 1. does not satisfy General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
4. Any development involving any of the following (or of any combination of any of the following): <ul style="list-style-type: none"> (a) consulting room (b) office (c) shop. 	Except development that: <ul style="list-style-type: none"> 1. does not satisfy any of the following: <ul style="list-style-type: none"> (a) General Neighbourhood Zone DTS/DPF 1.4 (b) General Neighbourhood Zone DTS/DPF 4.1 or 2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and:

	<ul style="list-style-type: none"> (a) the length of the proposed wall (or structure) exceeds 11.5m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or (b) the height of the proposed wall (or post height) exceeds 3m measured from the top of footings (other than where the proposed wall (or post) abuts an existing wall or structure of greater height on the adjoining allotment).
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) internal building works (b) land division (c) recreation area (d) replacement building (e) temporary accommodation in an area affected by bushfire (f) tree damaging activity. 	None specified.
<p>6. Alteration of or addition to any development involving the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> (a) community facility (b) educational establishment (c) pre-school. 	Except development that does not satisfy General Neighbourhood Zone DTS/DPF 1.5.
7. Demolition.	<p>Except any of the following:</p> <ul style="list-style-type: none"> 1. the demolition of a State or Local Heritage Place 2. the demolition of a building (except an ancillary building) in a Historic Area Overlay.

Placement of Notices - Exemptions for Performance Assessed Development

None specified.

Placement of Notices - Exemptions for Restricted Development

None specified.

Part 3 - Overlays

Affordable Housing Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Affordable housing is integrated with residential and mixed use development.
DO 2	Affordable housing caters for a variety of household structures.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Division	
PO 1.1 Development comprising 20 or more dwellings / allotments incorporates affordable housing.	DTS/DPF 1.1 Development results in 0-19 additional allotments / dwellings.
PO 1.2 Development comprising 20 or more dwellings or residential allotments provides housing suited to a range of incomes including households with low to moderate incomes.	DTS/DPF 1.2 Development comprising 20 or more dwellings / or residential allotments includes a minimum of 15% affordable housing except where: <ul style="list-style-type: none"> (a) it can be demonstrated that any shortfall in affordable housing has been provided in a previous stage of development or (b) it can be demonstrated that any shortfall in affordable housing will be accommodated in a subsequent stage or stages of development.
PO 1.3 Affordable housing is distributed throughout the development to avoid an overconcentration.	DTS/DPF 1.3 None are applicable.
Built Form and Character	
PO 2.1 Affordable housing is designed to complement the design and character of residential development within the locality.	DTS/DPF 2.1 None are applicable.
Affordable Housing Incentives	
PO 3.1 To support the provision of affordable housing, minimum allotment sizes may be reduced below the minimum allotment size specified in a zone while providing allotments of a suitable size and dimension to accommodate dwellings with a high standard of occupant amenity.	DTS/DPF 3.1 The minimum site area specified for a dwelling can be reduced by up to 20%, or the maximum density per hectare increased by up to 20%, where it is to be used to accommodate affordable housing except where the development is located within the Character Area Overlay or Historic Area Overlay.
PO 3.2	DTS/DPF 3.2

<p>To support the provision of affordable housing, building heights may be increased above the maximum specified in a zone.</p>	<p>Where a building incorporates dwellings above ground level and includes at least 15% affordable housing, the maximum building height specified in any relevant zone policy can be increased by 1 building level in the:</p> <ul style="list-style-type: none"> (a) Business Neighbourhood Zone (b) City Living Zone (c) Established Neighbourhood Zone (d) General Neighbourhood Zone (e) Hills Neighbourhood Zone (f) Housing Diversity Neighbourhood Zone (g) Neighbourhood Zone (h) Master Planned Neighbourhood Zone (i) Master Planned Renewal Zone (j) Master Planned Township Zone (k) Rural Neighbourhood Zone (l) Suburban Business Zone (m) Suburban Neighbourhood Zone (n) Township Neighbourhood Zone (o) Township Zone (p) Urban Renewal Neighbourhood Zone (q) Waterfront Neighbourhood Zone <p>and up to 30% in any other zone, except where:</p> <ul style="list-style-type: none"> (a) the development is located within the Character Area Overlay or Historic Area Overlay or (b) other height incentives already apply to the development.
Movement and Car Parking	
<p>PO 4.1</p> <p>Sufficient car parking is provided to meet the needs of occupants of affordable housing.</p>	<p>DTS/DPF 4.1</p> <p>Dwellings constituting affordable housing are provided with car parking in accordance with the following:</p> <ul style="list-style-type: none"> (a) 0.3 carpark per dwelling within a building which incorporates dwellings located above ground level within either: <ul style="list-style-type: none"> (i) 200 metres of any section of road reserve along which a bus service operates as a high frequency public transit service⁽²⁾ (ii) is within 400 metres of a bus interchange⁽¹⁾ (iii) is within 400 metres of an O-Bahn interchange⁽¹⁾ (iv) is within 400 metres of a passenger rail station⁽¹⁾ (v) is within 400 metres of a passenger tram station⁽¹⁾ (vi) is within 400 metres of the Adelaide Parklands. or (b) 1 carpark per dwelling for any other dwelling. <p>[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high</p>

Policy24		P&D Code (in effect) Version 2023.6 27/04/2023
		frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development for the purposes of the provision of affordable housing (applying the criteria determined under regulation 4 of the <i>South Australian Housing Trust Regulations 2010</i>).	Minister responsible for administering the <i>South Australian Housing Trust Act 1995</i> .	To provide direction on the conditions required to secure the provision of dwellings or allotments for affordable housing.	Development of a class to which Schedule 9 clause 3 item 20 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Airport Building Heights (Regulated) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1	DTS/DPF 1.1

Building height does not pose a hazard to the operation of a certified or registered aerodrome.	Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas. In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development: (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i> (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

Building Near Airfields Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Maintain the operational and safety requirements of certified commercial and military airfields, airports, airstrips and helicopter landing sites through management of non-residential lighting, turbulence and activities that may attract or result in the congregation of wildlife.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.3 Buildings are adequately separated from runways and other take-off and landing facilities within certified or registered aerodromes to minimise the potential for building-generated	DTS/DPF 1.3 The distance from any part of a runway centreline to the closest point of the building is not less than 35 times the building height.

turbulence and windshear that may pose a safety hazard to aircraft flight movement.	
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Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Hazards (Flooding – General) Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Impacts on people, property, infrastructure and the environment from general flood risk are minimised through the appropriate siting and design of development.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Flood Resilience	
PO 2.1 Development is sited, designed and constructed to prevent the entry of floodwaters where the entry of flood waters is likely to result in undue damage to or compromise ongoing activities within buildings.	DTS/DPF 2.1 Habitable buildings, commercial and industrial buildings, and buildings used for animal keeping incorporate a finished ground and floor level not less than: In instances where no finished floor level value is specified, a building incorporates a finished floor level at least 300mm above the height of a 1% AEP flood event.

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

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Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Stormwater Management Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature			
<p>PO 1.1</p> <p>Residential development is designed to capture and re-use stormwater to:</p> <ul style="list-style-type: none">(a) maximise conservation of water resources(b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded(c) manage stormwater runoff quality.	<p>DTS/DPF 1.1</p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:</p> <ul style="list-style-type: none">(a) includes rainwater tank storage:<ul style="list-style-type: none">(i) connected to at least:<ul style="list-style-type: none">A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof areaB. in all other cases, 80% of the roof area(ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m²(iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m² or greater(iv) with a minimum total capacity in accordance with Table 1(v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank(b) incorporates dwelling roof area comprising at least 80% of the site's impervious area <p>Table 1: Rainwater Tank</p> <table><tr><td></td><td></td><td></td></tr></table>			

		Site size (m ²)	Minimum retention volume (Litres)	Minimum detention volume (Litres)	
		<200	1000	1000	
		200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A	
		>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A	

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Urban Tree Canopy Overlay

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1	DTS/DPF 1.1

Trees are planted or retained to contribute to an urban tree canopy.

Tree planting is provided in accordance with the following:

Site size per dwelling (m ²)	Tree size* and number required per dwelling
<450	1 small tree
450-800	1 medium tree or 2 small trees
>800	1 large tree or 2 medium trees or 4 small trees

*refer Table 1 Tree Size

Table 1 Tree Size			
Tree size	Mature height (minimum)	Mature spread (minimum)	Soil area around tree within development site (minimum)
Small	4 m	2m	10m ² and min. dimension of 1.5m
Medium	6 m	4 m	30m ² and min. dimension of 2m
Large	12 m	8m	60m ² and min. dimension of 4m

The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.

Table 2 Tree Discounts			
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m ² and min. dimension of 1.5m	2 small trees (or 1 medium tree)

	6-12m	4-8m	30m ² and min. dimension of 3m	2 medium trees (or 4 small trees)
	>12m	>8m	60m ² and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)
<p>Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.</p>				

Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

Part 4 - General Development Policies

Clearance from Overhead Powerlines

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.</p>	<p>DTS/DPF 1.1</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i> (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

Design in Urban Areas

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	<p>Development is:</p> <ul style="list-style-type: none"> (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
On-site Waste Treatment Systems	
<p>PO 6.1</p> <p>Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.</p>	<p>DTS/DPF 6.1</p> <p>Effluent disposal drainage areas do not:</p> <ul style="list-style-type: none"> (a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space

	<ul style="list-style-type: none"> (b) use an area also used as a driveway (c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.
Car parking appearance	
<p>PO 7.1</p> <p>Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as:</p> <ul style="list-style-type: none"> (a) limiting protrusion above finished ground level (b) screening through appropriate planting, fencing and mounding (c) limiting the width of openings and integrating them into the building structure. 	<p>DTS/DPF 7.1</p> <p>None are applicable.</p>
Earthworks and sloping land	
<p>PO 8.1</p> <p>Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.</p>	<p>DTS/DPF 8.1</p> <p>Development does not involve any of the following:</p> <ul style="list-style-type: none"> (a) excavation exceeding a vertical height of 1m (b) filling exceeding a vertical height of 1m (c) a total combined excavation and filling vertical height of 2m or more.
<p>PO 8.2</p> <p>Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.</p>	<p>DTS/DPF 8.2</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b):</p> <ul style="list-style-type: none"> (a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway (b) are constructed with an all-weather trafficable surface.
<p>PO 8.3</p> <p>Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):</p> <ul style="list-style-type: none"> (a) do not contribute to the instability of embankments and cuttings (b) provide level transition areas for the safe movement of people and goods to and from the development (c) are designed to integrate with the natural topography of the land. 	<p>DTS/DPF 8.3</p> <p>None are applicable.</p>
<p>PO 8.4</p> <p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>
<p>PO 8.5</p> <p>Development does not occur on land at risk of landslide or increase the potential for landslide or land surface instability.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>

Overlooking / Visual Privacy (low rise buildings)	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: (a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm (b) have sill heights greater than or equal to 1.5m above finished floor level (c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: (a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace or (b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: (i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land or (ii) 1.7m above finished floor level in all other cases
All residential development	
Front elevations and passive surveillance	
PO 17.1 Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.	DTS/DPF 17.1 Each dwelling with a frontage to a public street: (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m (b) has an aggregate window area of at least 2m ² facing the primary street.
PO 17.2 Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.	DTS/DPF 17.2 Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.
Outlook and Amenity	
PO 18.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 18.1 A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.
Residential Development - Low Rise	

External appearance	
<p>PO 20.1</p> <p>Garaging is designed to not detract from the streetscape or appearance of a dwelling.</p>	<p>DTS/DPF 20.1</p> <p>Garages and carports facing a street:</p> <ul style="list-style-type: none"> (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling (b) are set back at least 5.5m from the boundary of the primary street (c) have a garage door / opening width not exceeding 7m (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.
<p>PO 20.2</p> <p>Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.</p>	<p>DTS/DPF 20.2</p> <p>Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:</p> <ul style="list-style-type: none"> (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line (b) a porch or portico projects at least 1m from the building wall (c) a balcony projects from the building wall (d) a verandah projects at least 1m from the building wall (e) eaves of a minimum 400mm width extend along the width of the front elevation (f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm (g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.
<p>PO 20.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 20.3</p> <p>None are applicable</p>
Private Open Space	
<p>PO 21.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 21.1</p> <p>Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>
<p>PO 21.2</p> <p>Private open space is positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 21.2</p> <p>Private open space is directly accessible from a habitable room.</p>

Landscaping

PO 22.1

Soft landscaping is incorporated into development to:

- (a) minimise heat absorption and reflection
- (b) contribute shade and shelter
- (c) provide for stormwater infiltration and biodiversity
- (d) enhance the appearance of land and streetscapes.

DTS/DPF 22.1

Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):

- (a) a total area as determined by the following table:

Dwelling site area (or in the case of residential flat building or group dwelling(s), average site area) (m ²)	Minimum percentage of site
<150	10%
150-200	15%
>200-450	20%
>450	25%

- (b) at least 30% of any land between the primary street boundary and the primary building line.

Car parking, access and manoeuvrability

PO 23.1

Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.

DTS/DPF 23.1

Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):

- (a) single width car parking spaces:
 - (i) a minimum length of 5.4m per space
 - (ii) a minimum width of 3.0m
 - (iii) a minimum garage door width of 2.4m
- (b) double width car parking spaces (side by side):
 - (i) a minimum length of 5.4m
 - (ii) a minimum width of 5.4m
 - (iii) minimum garage door width of 2.4m per space.

PO 23.2

Uncovered car parking space are of dimensions to be functional, accessible and convenient.

DTS/DPF 23.2

Uncovered car parking spaces have:

- (a) a minimum length of 5.4m
- (b) a minimum width of 2.4m
- (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.

PO 23.3

Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, domestic waste collection, landscaped street frontages and on-street parking.

DTS/DPF 23.3

Driveways and access points satisfy (a) or (b):

- (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point

	<p>provided on the site</p> <p>(b) sites with a frontage to a public road greater than 10m:</p> <ul style="list-style-type: none"> (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land (b) where newly proposed, is set back: <ul style="list-style-type: none"> (i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner (ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance (iii) 6m or more from the tangent point of an intersection of 2 or more roads (iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> (a) the gradient from the place of access on the boundary of the allotment to the finished floor level at the front of the garage or carport is not steeper than 1-in-4 on average (b) they are aligned relative to the street so that there is no more than a 20 degree deviation from 90 degrees between the centreline of any dedicated car parking space to which it provides access (measured from the front of that space) and the road boundary. (c) if located so as to provide access from an alley, lane or right of way - the alley, lane or right of way is at least 6.2m wide along the boundary of the allotment / site
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> (a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to

	an end obstruction where the parking is indented.
Waste storage	
PO 24.1 Provision is made for the convenient storage of waste bins in a location screened from public view.	DTS/DPF 24.1 Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that: <ul style="list-style-type: none"> (a) has a minimum area of 2m² with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and (b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.
Design of Transportable Buildings	
PO 25.1 The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.	DTS/DPF 25.1 Buildings satisfy (a) or (b): <ul style="list-style-type: none"> (a) are not transportable (b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.
Group Dwellings, Residential Flat Buildings and Battle axe Development	
Amenity	
PO 31.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.	DTS/DPF 31.2 None are applicable.
PO 31.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.	DTS/DPF 31.3 None are applicable.
PO 31.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	DTS/DPF 31.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.
Car parking, access and manoeuvrability	
PO 33.1 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	DTS/DPF 33.1 Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements: <ul style="list-style-type: none"> (a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number) (b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly (c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.
PO 33.4	DTS/DPF 33.4

Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
PO 33.5 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 33.5 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Soft landscaping	
PO 34.2 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 34.2 Battle-axe or common driveways satisfy (a) and (b): (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Laneway Development	
Infrastructure and Access	
PO 44.1 Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where: (a) existing utility infrastructure and services are capable of accommodating the development (b) the primary street can support access by emergency and regular service vehicles (such as waste collection) (c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems) (d) safety of pedestrians or vehicle movement is maintained (e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.	DTS/DPF 44.1 Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		Total private open space area: (a) Site area <301m ² : 24m ² located behind the building line. (b) Site area ≥ 301m ² : 60m ² located behind the building line.

		Minimum directly accessible from a living room: 16m ² / with a minimum dimension 3m.
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m ² , which may be uses as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m ² / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m ² / minimum dimension 1.8m
	One bedroom dwelling	8m ² / minimum dimension 2.1m
	Two bedroom dwelling	11m ² / minimum dimension 2.4m
	Three + bedroom dwelling	15 m ² / minimum dimension 2.6m

Infrastructure and Renewable Energy Facilities

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
PO 11.2 Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.	DTS/DPF 11.2 A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is: (a) exclusively for domestic use

	(b) connected to the roof drainage system of the dwelling.
Wastewater Services	
<p>PO 12.1</p> <p>Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the following:</p> <ul style="list-style-type: none"> (a) it is wholly located and contained within the allotment of the development it will service (b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources (c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm. 	<p>DTS/DPF 12.1</p> <p>Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the following:</p> <ul style="list-style-type: none"> (a) the system is wholly located and contained within the allotment of development it will service; and (b) the system will comply with the requirements of the South Australian Public Health Act 2011.
<p>PO 12.2</p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p>	<p>DTS/DPF 12.2</p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

Interface between Land Uses

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <ul style="list-style-type: none"> a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight 	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>

b. other zones is managed to enable access to direct winter sunlight.	
<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <p>i. half the existing ground level open space</p> <p>or</p> <p>ii. 35m² of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

Site Contamination

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Ensure land is suitable for use when land use changes to a more sensitive use.</p>	<p>DTS/DPF 1.1</p> <p>Development satisfies (a), (b), (c) or (d):</p> <p>(a) does not involve a change in the use of land</p> <p>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</p> <p>(c) involves a change in the use of land to a more sensitive</p>

	<p>use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</p> <p>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:</p> <p>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that-</p> <p>A. site contamination does not exist (or no longer exists) at the land or</p> <p>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation) or</p> <p>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</p>
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Transport, Access and Parking

Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Parking Rates	
PO 5.1	DTS/DPF 5.1

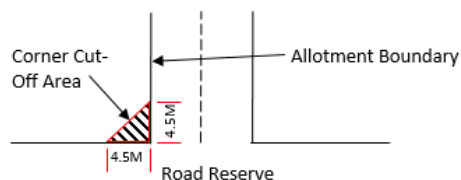
<p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> (a) availability of on-street car parking (b) shared use of other parking areas (c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared (d) the adaptive reuse of a State or Local Heritage Place. 	<p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> (a) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements (b) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas (c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	<p>Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.</p>
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>

Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is: 1 space for each dwelling with a total floor area less than 75 square metres 2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres 3 spaces for each dwelling with a total floor area greater than 150 square metres. Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.	Capital City Zone City Main Street Zone City Riverbank Zone Adelaide Park Lands Zone Business Neighbourhood Zone (within the City of Adelaide) The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone

Table 2 - Criteria The following criteria are used in conjunction with Table 2. The 'Exception' column identifies locations where the criteria do not apply and the car parking rates in Table 2 are applicable.

Criteria	Exceptions
<p>The designated area is wholly located within Metropolitan Adelaide and any part of the development site satisfies one or more of the following:</p> <p>(a) is within 200 metres of any section of road reserve along which a bus service operates as a high frequency public</p>	<p>(a) All zones in the City of Adelaide</p> <p>(b) Strategic Innovation Zone in the following locations:</p> <ul style="list-style-type: none"> (i) City of Burnside (ii) City of Marion (iii) City of Mitcham <p>(c) Urban Corridor (Boulevard) Zone</p> <p>(d) Urban Corridor (Business) Zone</p>

<p>transit service⁽²⁾</p> <p>(b) is within 400 metres of a bus interchange⁽¹⁾</p> <p>(c) is within 400 metres of an O-Bahn interchange⁽¹⁾</p> <p>(d) is within 400 metres of a passenger rail station⁽¹⁾</p> <p>(e) is within 400 metres of a passenger tram station⁽¹⁾</p> <p>(f) is within 400 metres of the Adelaide Parklands.</p>	<p>(e) Urban Corridor (Living) Zone</p> <p>(f) Urban Corridor (Main Street) Zone</p> <p>(g) Urban Neighbourhood Zone</p>
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[NOTE(S): (1) Measured from an area that contains any platform(s), shelter(s) or stop(s) where people congregate for the purpose waiting to board a bus, tram or train, but does not include areas used for the parking of vehicles. (2) A high frequency public transit service is a route serviced every 15 minutes between 7.30am and 6.30pm Monday to Friday and every 30 minutes at night, Saturday, Sunday and public holidays until 10pm.]

Attachment 1



NO 6A HAMILTON STREET SOMERTON PARK
12039

THIS IMAGE IS AN ARTIST IMPRESSION ONLY AND IS SUBJECT TO CHANGES THAT MAY BE REQUIRED FOR CONSTRUCTION



SCOTT SALISBURY
HOMES

NOTES:

- ANY RETAINING WALLS SHOWN ARE TO BE CONSTRUCTED BY OWNER AFTER HAND OVER, EXCEPT THOSE THAT ARE NECESSARY FOR THE PHYSICAL CONSTRUCTION OF THE DWELLING.
- RETAIN ANY CUT/FILL ON BOUNDARY WITH MINOR CONCRETE SLEEPER RETAINING WALL OR CONCRETE PLINTH AS/IF REQUIRED (BY OWNER)
- 1 x 5,000L COMBINATION RETENTION AND DETENTION TANK (MIN. 4,000L FOR RETENTION AND MIN. 1,000L FOR DETENTION WITH 20-25mm ORIFICE) (BY OWNER) TO BE CONNECTED TO ONE TOILET AND EITHER HOT WATER SERVICE OR THE LAUNDRY COLD WATER OUTLETS WITH MAINS WATER BACK UP DP① TO ④ TO TANK (MIN. 60% OF ROOF AREA) (ENSURE ANY FILL PLACED UNDER TANK BASE LOCATION IS COMPACTED AT LEAST AS "ROLLED FILL". HOWEVER SOME SETTLEMENT MAY OCCUR IF "CONTROLLED FILL IS NOT USED OR IF TANK BASE SUPPORT IS NOT PIERED TO FIRM NATURAL GROUND) TANK BASE TO BE SEATED ON HORIZONTAL BENCHED PLATFORM
- ENSURE SEALED SYSTEM DRAIN LAID LOW ENOUGH WHERE REQUIRED TO ALLOW GRAVITY FLOW DRAIN TO PASS ABOVE WITH SPECIFIED GRADE AND COVER.
- GRADE PAVING AND FILL AND/OR GRADE GROUND TO SUMP LOCATIONS OR PROVIDE LINED SPOON DRAIN BETWEEN SUMPS AT 0.30% FALL-REFER SHEET CD5-1 AND DD1
- THE NUMBER AND LOCATION OF SUMPS SHOWN ON THIS DRAWING ARE INDICATIVE ONLY AND MAY CHANGE SUBJECT TO ACTUAL SITE CONDITIONS AND THE EXTENT AND TYPE OF PAVEMENTS SELECTED.
- TREE REMOVAL IS SUBJECT TO APPROVAL BY THE RELEVANT AUTHORITY.

IMPORTANT NOTE:

CUT-FILL LINE NOT SHOWN DUE TO HOUSE SITE BEING ALL FILL

NOTE:

THE SITE IS CLASSIFIED AS 'P' (DUE TO TREES/TREE REMOVAL/EXISTING HOUSE) AND 'M-D' (DUE TO SOIL REACTIVITY) IN ACCORDANCE WITH AS 2870-2011



DRIVEWAY: 300mm COVER ONLY REQUIRED WHERE PIPE NOT PROTECTED BY PAVING ABOVE. CONTACT THIS OFFICE FOR FURTHER ADVICE IF NO PAVING ABOVE.

BENCH:

ENSURE BENCH IS GRADED FROM HOUSE.
SLOPE OF 1 IN 40 FOR PAVED AREAS.
SLOPE OF 1 IN 100 FOR GRASSED AREAS.

SEWER LAYOUT:

THE SEWER LAYOUT IS INDICATIVE ONLY, AND PROVIDED ONLY TO DETERMINE IF ADDITIONAL FOOTING PIERS ARE REQUIRED. IT IS NOT A SEWER LAYOUT PLAN FOR CONSTRUCTION PURPOSES. CONTACT THIS OFFICE IF THE SEWER IS TO BE LAID IN A DIFFERENT LOCATION AS THE FOOTING LAYOUT PLAN MAY NEED REVISION. SEWER PLUMBING IS TO BE DETAILED IN ACCORDANCE WITH AS 3500.2-2018 AND THE NCC-2019 VOL 3.

STORMWATER:

PROVIDE ADEQUATE PROTECTION OR COVER TO STORMWATER PIPES (300mm COVER WHERE PIPE IS LIKELY TO BE SUBJECTED TO VEHICULAR LOADING AND 100mm MINIMUM COVER OTHERWISE). WHEN A SEALED STORMWATER SYSTEM IS USED REFER TO DETAIL SHEET. 1 IN 250 MIN FALL ON STORMWATER DRAINS EXCEPT IN SEALED SYSTEMS.

FLEXIBLE CONNECTIONS:

FLEXIBLE CONNECTIONS TO STORM WATER AND WASTE DRAINS ARE NOT NECESSARY ON THIS SITE.

SITE:

LEVELS SHOWN ARE APPROXIMATE ONLY AND ARE TO AN ASSUMED DATUM AS INDICATED ON SITE PLAN. SITE DIMENSIONS SHOWN IN BRACKETS () AND BOUNDARIES ARE ASSUMED ACCORDING TO INFORMATION AVAILABLE OR FOUND ON SITE, AND SHALL BE CONFIRMED BY THE OWNER.

OWNER PLEASE NOTE

STORMWATER DISPOSAL INCLUDING SURFACE DRAINAGE, AS PER PLAN AND TO COUNCIL REQUIREMENTS ALL TO BE CONSTRUCTED BY OWNER, INCLUDING RETAINING WALLS, UNLESS STATED OTHERWISE IN THE CONTRACT. THE STORMWATER DISPOSAL SYSTEM AS INDICATED MUST BE INSTALLED AS SOON AS PRACTICABLE. ANY EXCAVATIONS ADJACENT TO FOOTINGS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSE 4 IN APPENDIX B OF FOOTING REPORT. WRITTEN DIMENSIONS SHALL TAKE PRIORITY OVER SCALED DIMENSIONS. ANY DISCREPANCY BETWEEN THE FOOTING PLAN/REPORT AND THE CIVIL PLAN SHALL BE REPORTED TO FMG ENGINEERING IMMEDIATELY. FLOOR LEVELS MAY BE INCREASED TO ACCOMMODATE SEWER GRADE REQUIREMENTS. OWNER AND/OR BUILDER ARE TO CHECK SEWER INVERTS PRIOR TO SITEWORKS COMMENCING.

REV	DESCRIPTION	DATE	INIT	APP



fmgengineering.com.au
P 08 8132 6600 | 67 Greenhill Rd, Wayville SA 5034
ABN 58 083 071 185 | Quality Management Systems ISO 9001 Certified

SIGNATURE			
CLIENT Scott Salisbury Homes			
PROJECT TITLE PROPOSED RESIDENCE			
SITE ADDRESS Lot 101, 6 Hamilton Street, SOMERTON PARK, SA 5044			
DRAWING TITLE CIVIL PLAN			
No. OF SHEETS 1 OF 1	SCALE 1:200 @ A3	DATE STARTED 20/10/2022	
DRAWN AE	SITE ID & JOB No. S61750 - 282848		REV.
DESIGNED AE	DRAWING No. HC01		
CHECKED AR			

LEGEND	
	LINED SPOON DRAIN TO FALL AT MIN. OF 0.30% (BY OWNER)
	250sq x 280d "POLYSUMP"
	90° GRATED SURFACE S/W SUMP(TYPICAL)
	TANK INLET PIPE SEALED SYSTEM (REFER SHEET DD2) 90° PVC
	TANK OVERFLOW PIPE, REMAINDER OF DP'S AND SURFACE STORMWATER TO STREET W.T. (GRAVITY FLOW) 90° PVC
	SEWER 100° @ AT 2.0% MIN (i.e. 1 in 50)
	GRADE BANKS 1 IN 2 UNLESS NOTED OTHERWISE
	EXISTING TREE
	EXISTING TREE TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION UNLESS OTHERWISE STATED
FENCING	
	EXISTING FENCING
	FENCING INCLUDED IN CONTRACT
	ETSA PILLAR
	LPOLE
	WAT CON
	SEWER IP
	SWIP
	TELSTRA
	GAS IP
	BDRY CNR (PEG FOUND)
	BDRY CNR (NO PEG)

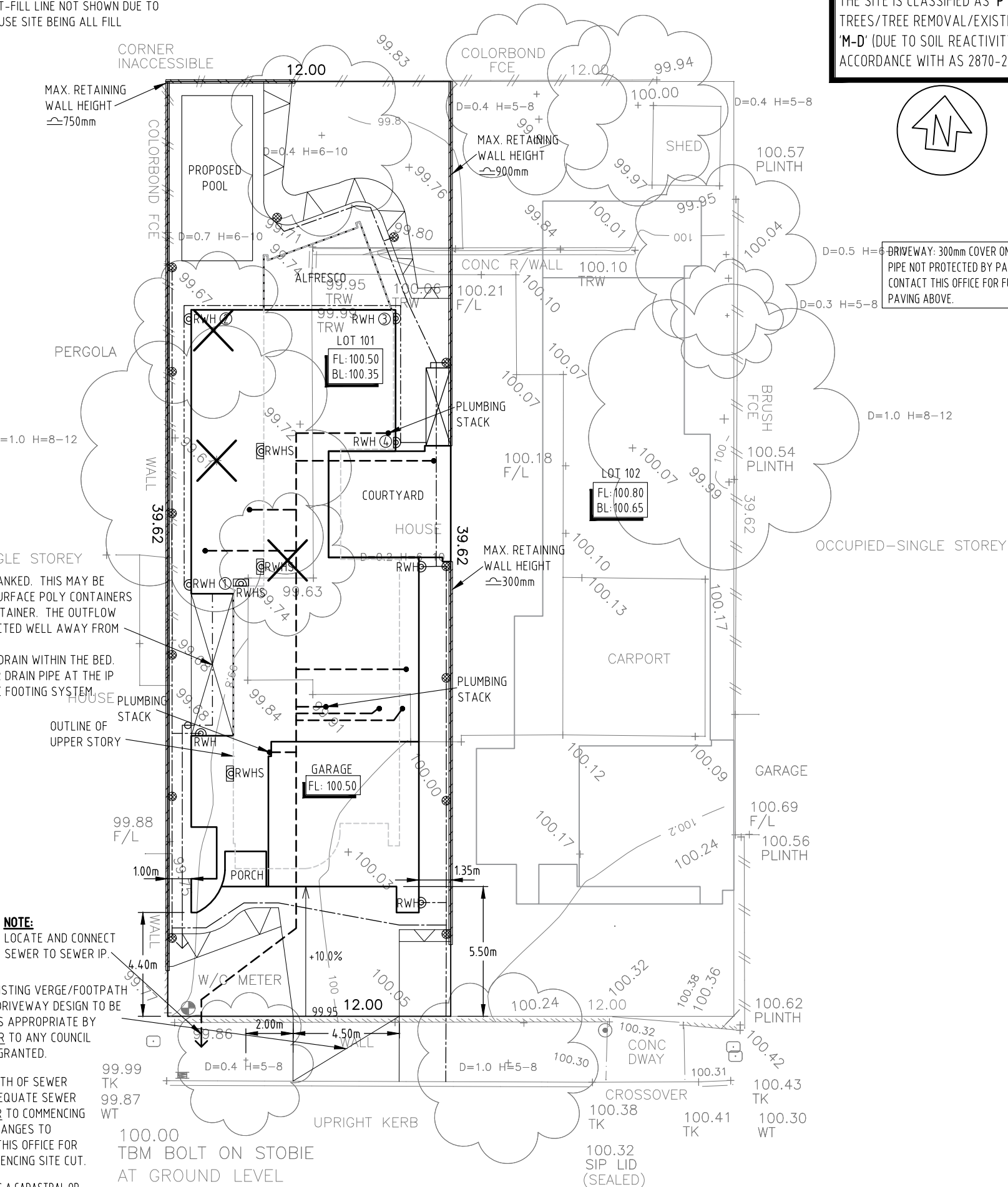
GARDEN BED TO BE FULLY TANKED. THIS MAY BE ACHIEVED BY PLACING SUBSURFACE POLY CONTAINERS OR A TANKED CONCRETE CONTAINER. THE OUTFLOW DRAIN WATER MUST BE DIRECTED WELL AWAY FROM THE FOOTING SYSTEM. PROVIDE AN AGRICULTURAL DRAIN WITHIN THE BED. CONNECT TO A STORMWATER DRAIN PIPE AT THE IP AND DIRECT AWAY FROM THE FOOTING SYSTEM.

NOTE: BUILDER TO CHECK DEPTH OF SEWER CONNECTION AND ENSURE ADEQUATE SEWER FALL CAN BE ACHIEVED PRIOR TO COMMENCING EARTHWORKS. REFER ANY CHANGES TO PROPOSED BENCH LEVEL TO THIS OFFICE FOR VERIFICATION PRIOR TO COMMENCING SITE CUT.

THIS PLAN SHALL NOT BE TAKEN AS A CADASTRAL OR IDENTIFICATION SURVEY. BOUNDARY DATA SHOWN IS TO BE TAKEN AS A GUIDE ONLY. IF REQUIRED, EXACT RESIDENCE LOCATION AND BOUNDARY LENGTHS TO BE ESTABLISHED BY QUALIFIED CONSULTANT.

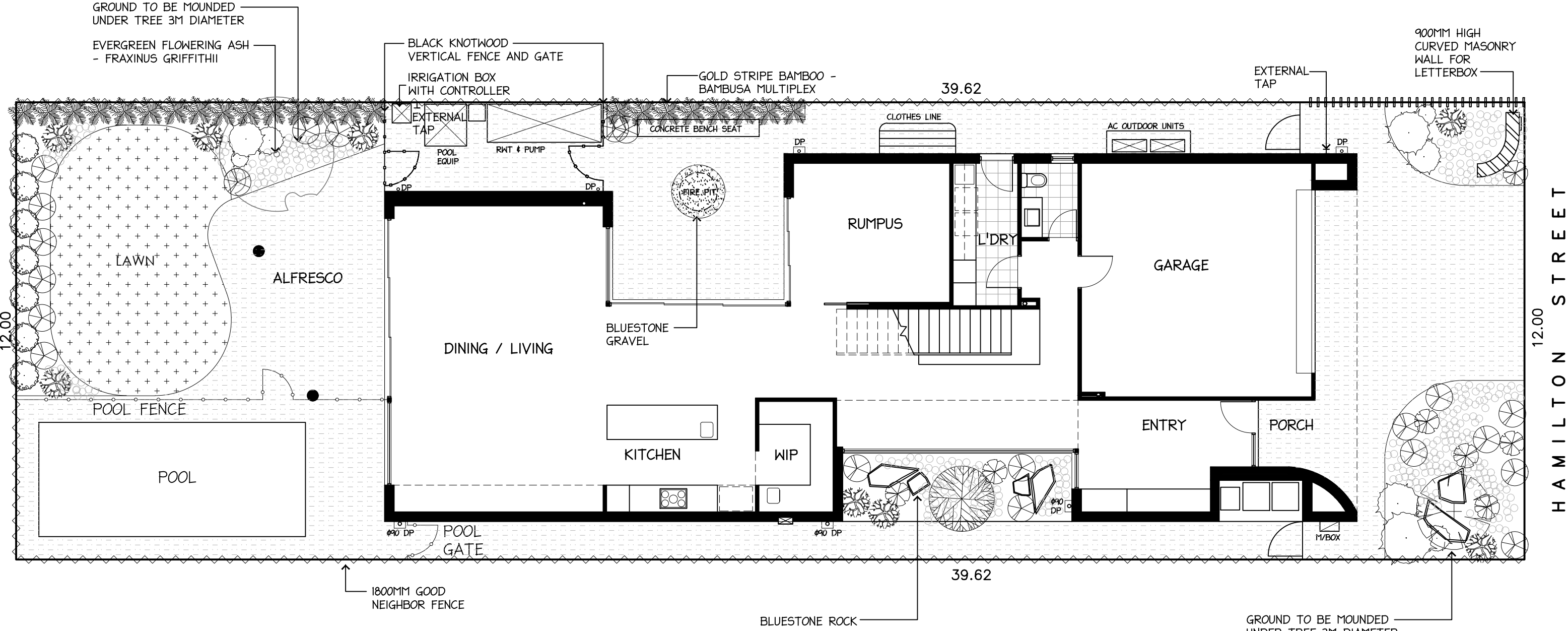
NOTE: LOCATE AND CONNECT SEWER TO SEWER IP.

NOTE: ADOPTING EXISTING VERGE/FOOTPATH LEVELS FOR DRIVEWAY DESIGN TO BE CONFIRMED AS APPROPRIATE BY COUNCIL PRIOR TO ANY COUNCIL APPROVALS GRANTED.

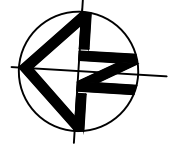


HAMILTON STREET

SCALE 0 2 4 6 8 10 METRES



- EVERGREEN FLOWERING ASH - FRAXINUS GRIFFITHII
- JAPANESE MAPLE - ACER PALMATUM
- CHERRY BLOSSOM -
- MAGNOLIA TEDDY BEAR - MAGNOLIA GRANDIFLORA
- GOLD STRIPE BAMBOO - BAMBUSIA MULTIPLEX
- SCLERANTHUS LIME LAVA - SCLERANTHUS BIFLORUS
- FEATHER TOP - BALOSKION TETRAPHYLLUM
- JAPANESE FOREST GRASS - HAKONECHLOA MARCA
- BANKSIA BIRTHDAY CANDLES - BANKSIA SPINULOSA
- JUNIPERUS CHINENSIS SABINA



LANDSCAPING PLAN
SCALE 1:100



Examples of Scleranthus Lime Lave

SCOTT SALISBURY HOMES

Licence No. GL57020
ABN 97 004 375 167

PO BOX 2075
MORPHETTVILLE SA 5043

474 Anzac Highway
CAMDEN PARK SA 5038

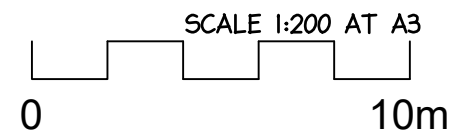
Phone: (08) 8376 6555
Fax: (08) 8376 0205
Email: homes@scottsalisburyhomes.com.au
Web: www.scottsalisburyhomes.com.au

Client:
HRF

Project:
PROPOSED LANDSCAPING

At:
LOT 101 No.6A HAMILTON ST
SOMERTON PARK

Designer: MW	Drawn by: MW
Date: 30.11.22	Sheet: 1 OF 1
Issue: A	Job Number: 12039



NO BRUSH FENCE WITHIN 3m OF BOUNDARY
UNLESS OTHERWISE SHOWN

FOR POSSIBLE EASEMENT DETAILS, REFER TO
CERTIFICATE OF TITLE

PLOTTED POSITION OF BOUNDARY IS APPROXIMATE ONLY
SITE DIMENSIONS SHALL BE CONFIRMED BY OWNER



SITE PLAN
SCALE 1:200

NOTE: NO CONTOUR PROVIDED
- SITE ASSUMED FLAT

NOTE: BENCH/FLOOR LEVELS,
STORMWATER DRAINAGE AND
RETAINING WALLS SHOWN INDICATIVELY
ONLY, REFER TO ENGINEER CIVIL AND
SITEWORKS PLAN

POOL SAFETY FENCING AND GATE REQUIRED
TO ENCLOSE POOL AREA IN ACCORDANCE
WITH NCC VOL.2 PART 3.10.1

PLANNING ISSUE

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Client:.....
Date:.....

AMENDMENTS			
A	INITIAL ISSUE	HH	23.09.22
B	GENERAL AMENDMENTS	HH	13.10.22
C	GENERAL AMENDMENTS	HH	21.11.22
D	GENERAL AMENDMENTS	HH	23.11.22
E	GENERAL AMENDMENTS	HH	20.02.23
F	GENERAL AMENDMENTS	HH	06.03.23

Council:.....
Zone:.....

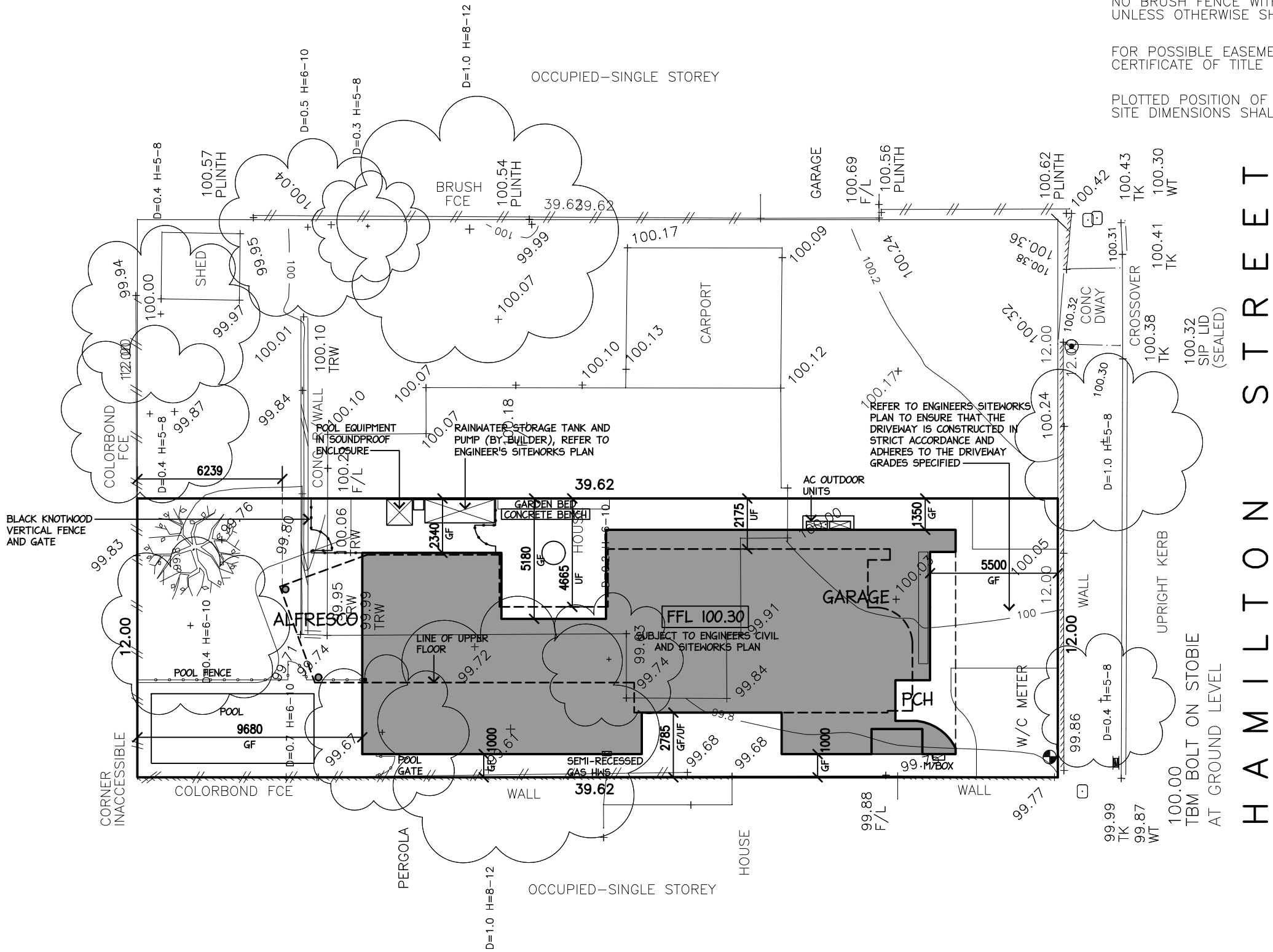
No Further Changes
Sign:.....
Date:.....

LANDSCAPING LEGEND

MEDIUM TREE
MAGNOLIA EXMOUTH
- MATURE SPREAD = 4m (MIN)
- MATURE HEIGHT = 6m (MIN)

AREA BREAKDOWN (m²)

TOTAL SITE	475.4
SITE COVER (%)	201.3 (42.3)
SOFT LANDSCAPING (%)	90.5 (19.0)
- FORWARD OF BUILDING LINE (%)	26.7 (43.8)
P.O.S (%)	137.9 (29.0)



Client:
HRF

Project:
PROPOSED NEW RESIDENCES

At:
**LOT 101, No.6 HAMILTON ST.
SOMERTON PARK**

Designer:
MW

Drawn by:
HH

Date:
23.09.22

Sheet:
1 OF 5

Issue:
F

Job Number:
12039

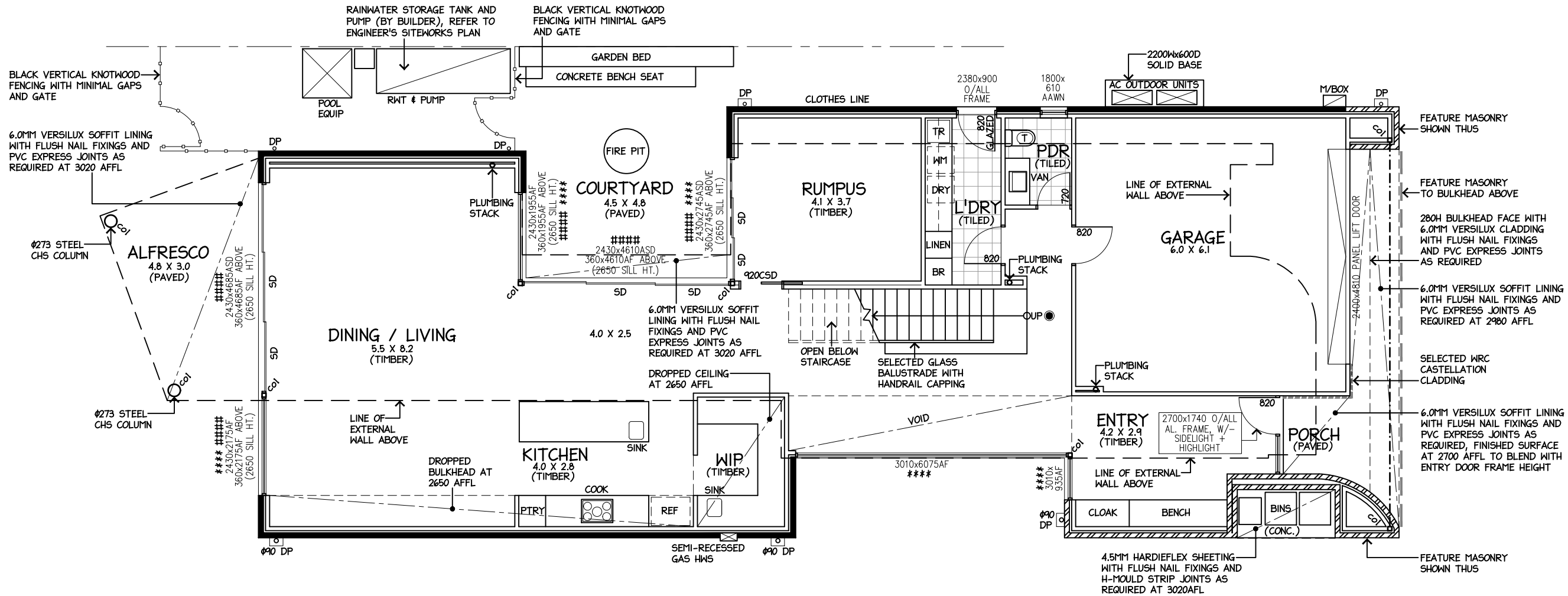
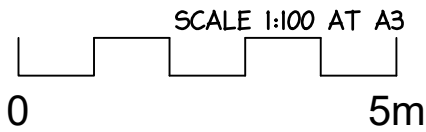
SCOTT SALISBURY HOMES

Licence No. GL57020
ABN 97 004 375 167

PO BOX 2075
MORPHETTVILLE SA 5043

474 Anzac Highway
CAMDEN PARK SA 5038

Phone: (08) 8376 6555
Fax: (08) 8376 0205
Email: homes@scottsalisburyhomes.com.au
Web: www.scottsalisburyhomes.com.au



GROUND FLOOR PLAN
SCALE 1:100

NOTES

ALL KITCHEN & WET AREA LAYOUTS SHOWN ON THIS PLAN ARE INDICATIVE ONLY. REFER TO JOINERY PLANS FOR CORRECT LAYOUTS AND PLUMBING POSITIONS

PROVIDE ELECTRICAL CONDUIT IN SLAB TO KITCHEN ISLAND BENCH WHERE APPLICABLE

CONCRETE SLABS BELOW MAIN FLOOR TILING TO BE REINFORCED AS PER ENGINEER'S RECOMMENDATION

2340 HIGH INTERNAL DOORS TO HAVE TIMBER FRAME OPENING OF 2410

REFER TO JOINERY AND ROBE LAYOUTS FOR ANY PLASTERBOARD LINED BULKHEADS REQUIRED ABOVE JOINERY OR ROBES

RECESSED DOOR / WINDOW FRAME, 50mm DEEP REBATE (WIDEN TO SUIT)

● HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP INSTALLED IN ACCORDANCE WITH AS 3786. SMOKE ALARMS COMPLYING WITH AS 3786 TO BE INTERCONNECTED IN ACCORDANCE WITH NCC VOL.2 PART 3.7.5.2

REMOVABLE DOOR HINGES AS REQUIRED TO BE FITTED IN ACCORDANCE WITH NCC VOL.2 PART 3.8.3.3

PROVIDE RESTRICTED WINDOW OPENINGS IN ACCORDANCE WITH NCC VOL.2 PART 3.9.2.6 AND 3.9.2.7.

□ STEEL COLUMN AS PER ENGINEER'S DETAILS

DP ○ 75Ø ROUND PVC DOWNPIPES (PAINTED) UNLESS OTHERWISE NOTED

[R/A] FLUSHABLE ROOF ACCESS HATCH

SD STRIP DRAIN

FT ⚡ FLOOR TRAP - FINAL LOCATION TO BE CONFIRMED

**** 75MM UNITEK CLADDING WITH AN ACRYLIC COATING ABOVE OPENING

PLANNING ISSUE

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Client:.....

Date:.....

AMENDMENTS

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D	GENERAL AMENDMENTS	HH	23.11.22
E	GENERAL AMENDMENTS	HH	20.02.23
F	GENERAL AMENDMENTS	HH	06.03.23

AREAS m2

GROUND LIVING	: 158.8
UPPER LIVING	: 147.4
GARAGE	: 40.1
PORCH	: 2.6
ALFRESCO	: 13.9
BIN RECESS	: 2.4
TOTAL	: 365.2
COURTYARD	: 23.6

Council:.....

Zone:.....

No Further Changes

Sign:.....

Date:.....

Client:
HRF

Project:
PROPOSED NEW RESIDENCES

At:
LOT 101, No.6 HAMILTON ST.
SOMERTON PARK

Designer:
MW

Drawn by:
HH

Date:
23.09.22

Sheet:
2 OF 5

Issue:
F

Job Number:
12039

SCOTT SALISBURY HOMES

Licence No. GL57020
ABN 97 004 375 167

PO BOX 2075
MORPHETTVILLE SA 5043

474 Anzac Highway
CAMDEN PARK SA 5038

Phone: (08) 8376 6555
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Email: homes@scottsalisburyhomes.com.au
Web: www.scottsalisburyhomes.com.au



ALL KITCHEN & WET AREA LAYOUTS
SHOWN ON THIS PLAN ARE
INDICATIVE ONLY. REFER TO
JOINERY PLANS FOR CORRECT
LAYOUTS AND PLUMBING POSITIONS

CONCRETE SLABS BELOW
MAIN FLOOR TILING TO BE
REINFORCED AS PER
ENGINEER'S RECOMMENDATION

RECESSED DOOR / WINDOW FRAME.
50mm DEEP REBATE (WIDEN TO SUIT)

- PROVIDE RESTRICTED WINDOW
OPENINGS IN ACCORDANCE WITH NCC
VOL.2 PART 3.9.2.6 AND 3.9.2.7.

- CONTROL JOINTS TO EXTERIOR WALL
CLADDINGS AS PER ENGINEER'S
SPECIFICATION AND AS PER
MANUFACTURER'S SPECIFICATIONS
FOR EACH CLADDING PRODUCT

- 165** DENOTES OVERALL LIGHTWEIGHT WALL THICKNESS WITH 75mm UNITEX CLADDING AND SINGLE FRAME.

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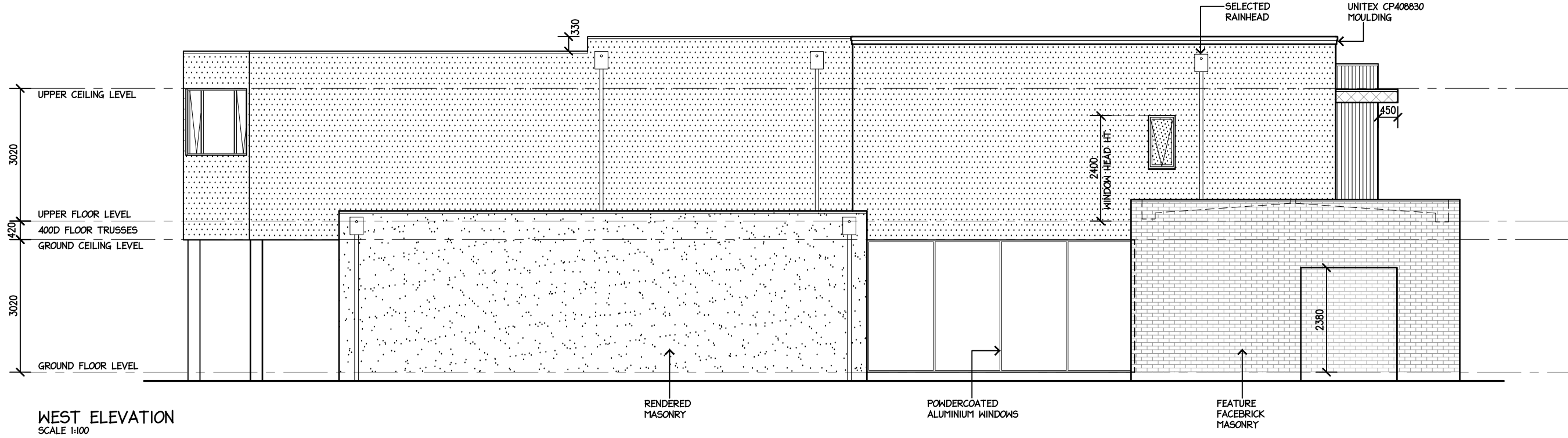
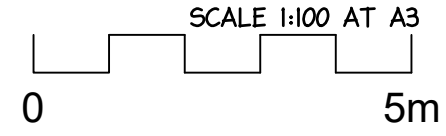
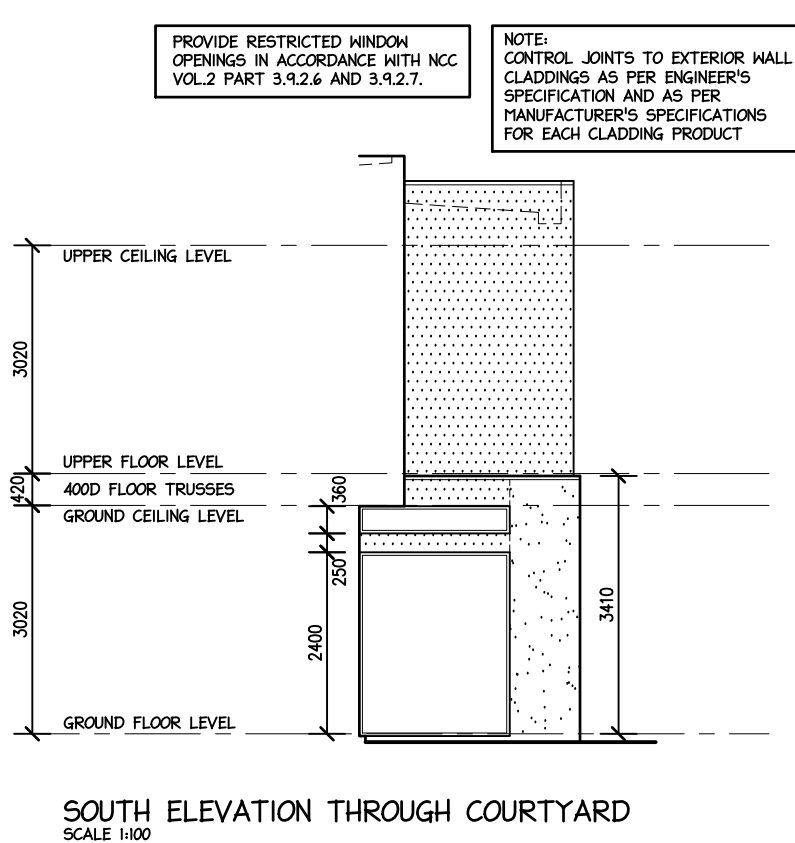
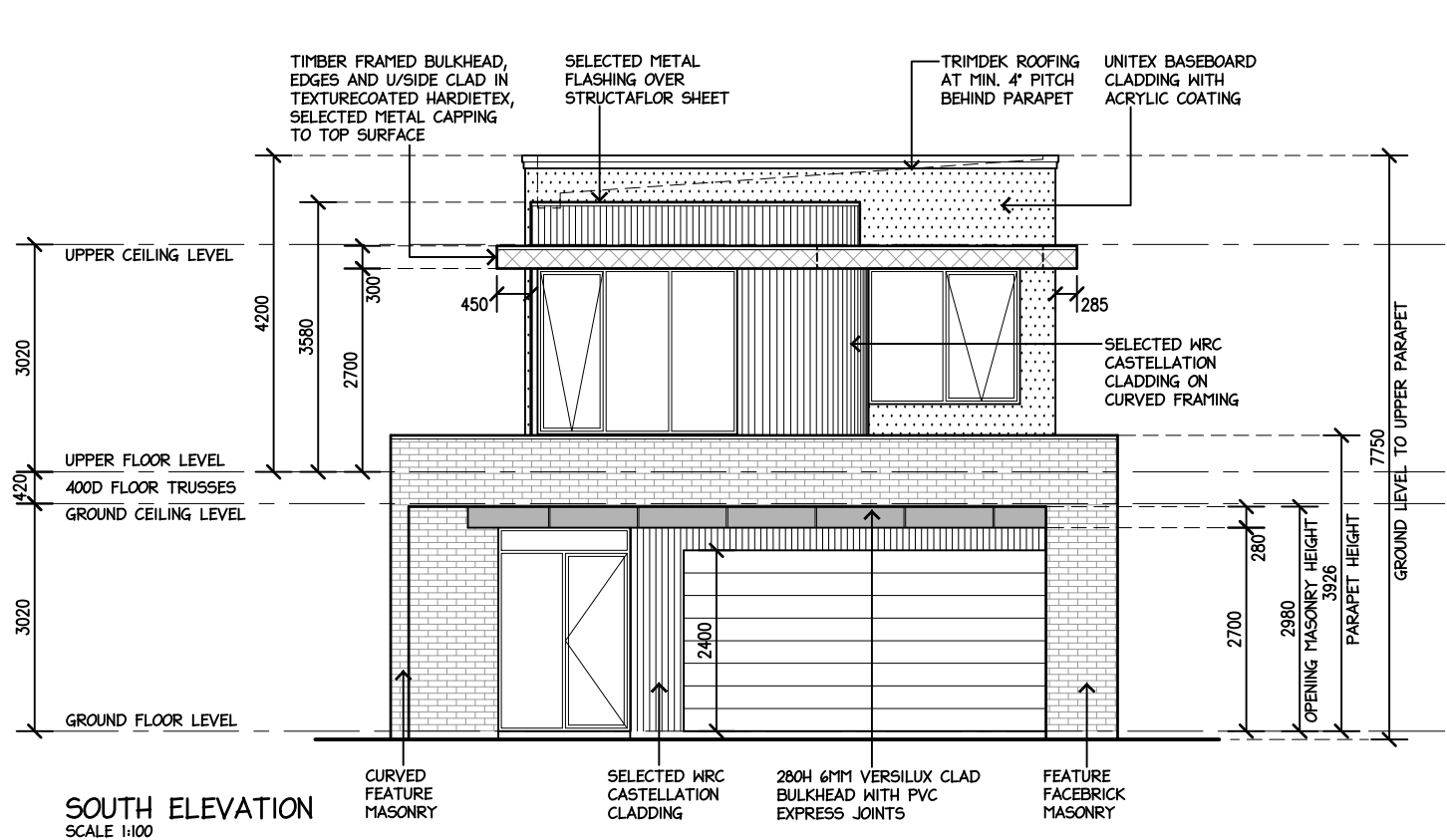
Date:.....

A	INITIAL ISSUE	HH	23.09.22
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C	GENERAL AMENDMENTS	HH	21.11.22
D	GENERAL AMENDMENTS	HH	23.11.22
E	GENERAL AMENDMENTS	HH	20.02.23
F	GENERAL AMENDMENTS	HH	06.03.23

Zone:.....

Date:.....

Client: HRF		 SCOTT SALISBURY HOMES
Project: PROPOSED NEW RESIDENCES		
At: LOT 101, No.6 HAMILTON ST. SOMERTON PARK		
Designer: MW Drawn by: HH		
Date: 23.09.22	Sheet: 3 OF 5	PO BOX 2075 MORPHETTVILLE SA 5043 474 Anzac Highway CAMDEN PARK SA 5038
Issue: F	Job Number: 12039	Phone: (08) 8376 6555 Fax: (08) 8376 0205 Email: homes@scottsalisburyhomes.com.au Web: www.scottsalisburyhomes.com.au



PLANNING ISSUE

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Client:.....

Date:.....

AMENDMENTS			
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E	GENERAL AMENDMENTS	HH	20.02.23
F	GENERAL AMENDMENTS	HH	06.03.23

Council:.....

Zone:.....

No Further Changes

Sign:.....

Date:.....

Client: HRF

Project: PROPOSED NEW RESIDENCES

At: LOT 101, No.6 HAMILTON ST. SOMERTON PARK

Designer: MW

Date: 23.09.22

Issue: F

Drawn by: HH

Sheet: 4 OF 5

Job Number: 12039

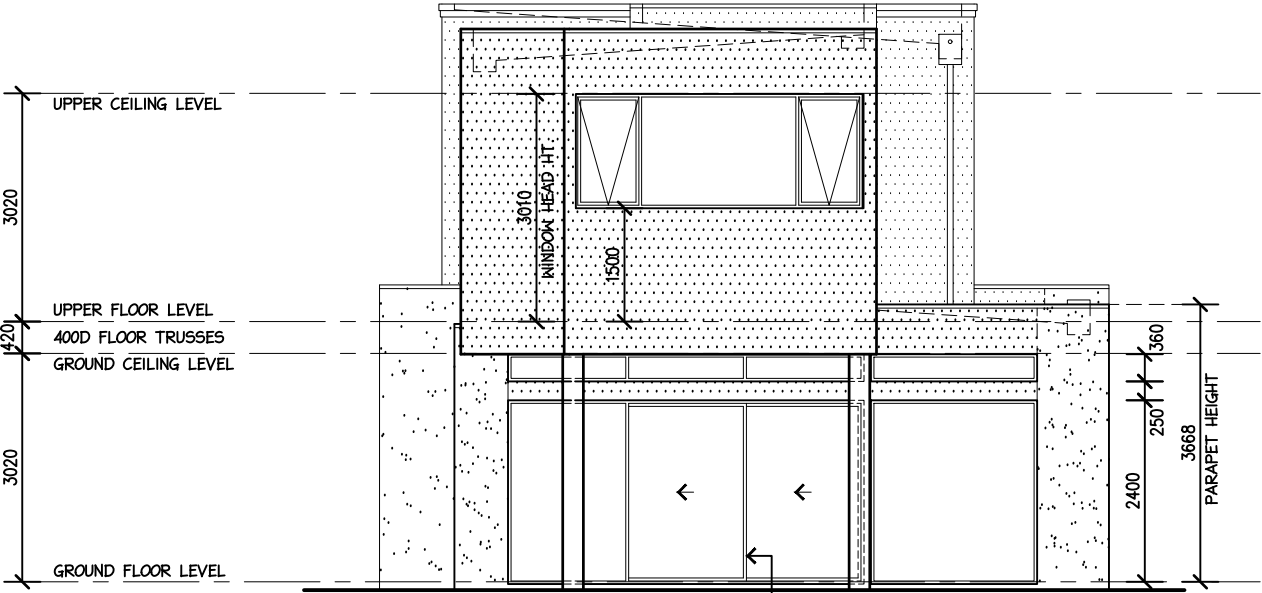
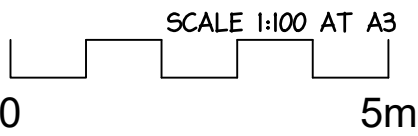
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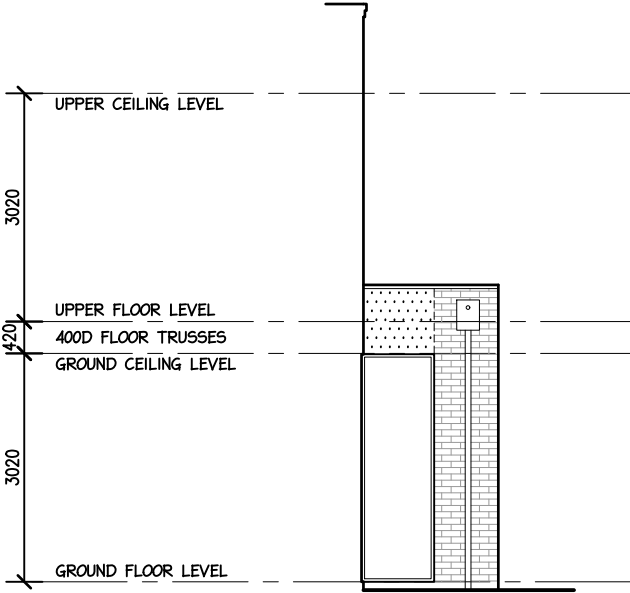
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MORPHETTVILLE SA 5043

474 Anzac Highway
CAMDEN PARK SA 5038

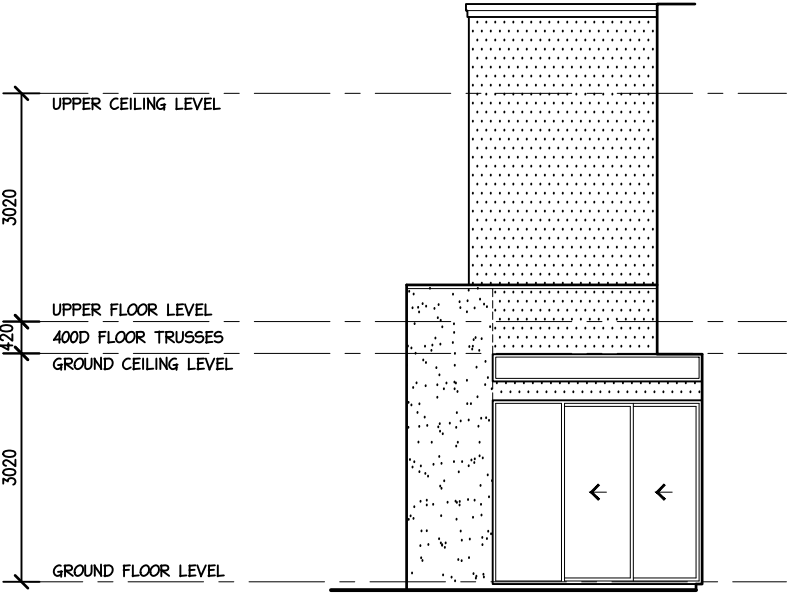
Phone: (08) 8376 6555
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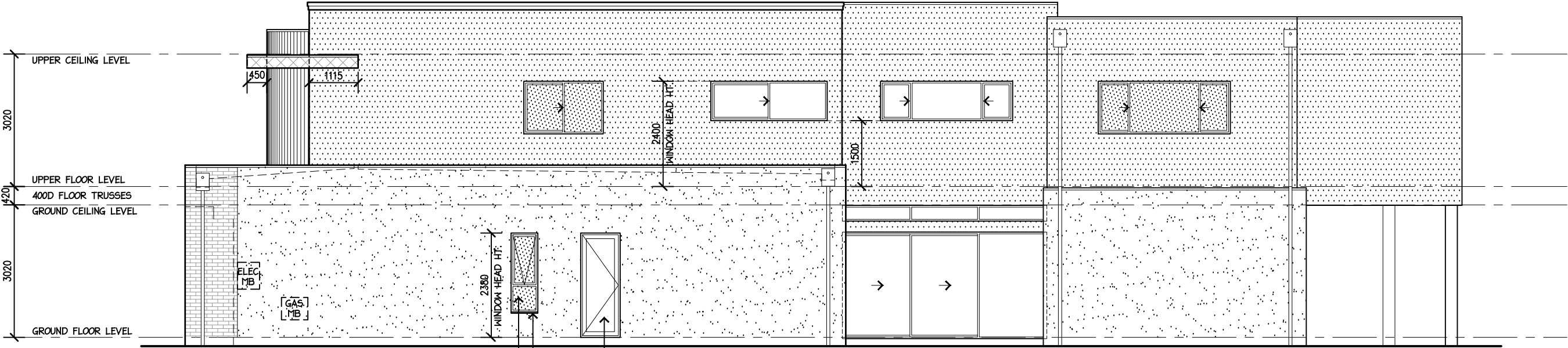
NORTH ELEVATION
SCALE 1:100



NORTH ELEVATION THROUGH GARDEN
SCALE 1:100



NORTH ELEVATION THROUGH COURTYARD
SCALE 1:100



EAST ELEVATION
SCALE 1:100

OBSCURE GLAZING TO WET AREA WINDOW
FLUSH RENDERED SILL
GLAZED DOOR TO LAUNDRY

PLANNING ISSUE

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Client:.....
Date:.....

AMENDMENTS

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D	GENERAL AMENDMENTS	HH	23.11.22
E	GENERAL AMENDMENTS	HH	20.02.23
F	GENERAL AMENDMENTS	HH	06.03.23

NOTE:
CONTROL JOINTS TO EXTERIOR WALL CLADDINGS AS PER ENGINEER'S SPECIFICATION AND AS PER MANUFACTURER'S SPECIFICATIONS FOR EACH CLADDING PRODUCT

PROVIDE RESTRICTED WINDOW OPENINGS IN ACCORDANCE WITH NCC VOL.2 PART 3.9.2.6 AND 3.9.2.7.

Council:.....
Zone:.....

No Further Changes

Sign:.....
Date:.....

Client:
HRF
Project:
PROPOSED NEW RESIDENCES
At:
LOT 101, No.6 HAMILTON ST.
SOMERTON PARK

Designer:
MW
Drawn by:
HH

Date:
23.09.22
Sheet:
5 OF 5

Issue:
F
Job Number:
12039

 SCOTT SALISBURY HOMES

Licence No. GL57020
ABN 97 004 375 167
PO BOX 2075
MORPHETTVILLE SA 5043
474 Anzac Highway
CAMDEN PARK SA 5038
Phone: (08) 8376 6555
Fax: (08) 8376 0205
Email: homes@scottsalisburyhomes.com.au
Web: www.scottsalisburyhomes.com.au



NO 6B HAMILTON STREET SOMERTON PARK
12040

THIS IMAGE IS AN ARTIST IMPRESSION ONLY AND IS SUBJECT TO CHANGES THAT MAY BE REQUIRED FOR CONSTRUCTION



SCOTT SALISBURY
HOMES

NOTES:

— ANY RETAINING WALLS SHOWN ARE TO BE CONSTRUCTED BY OWNER AFTER HAND OVER, EXCEPT THOSE THAT ARE NECESSARY FOR THE PHYSICAL CONSTRUCTION OF THE DWELLING.

RETAIN ANY CUT/FILL ON BOUNDARY WITH MINOR CONCRETE SLEEPER RETAINING WALL OR CONCRETE PLINTH AS/IF REQUIRED (BY OWNER)

1 x 5,000L COMBINATION RETENTION AND DETENTION TANK (MIN. 4,000L FOR RETENTION AND MIN. 1,000L FOR DETENTION WITH 20-25mm ORIFICE) (BY OWNER) TO BE CONNECTED TO ONE TOILET AND EITHER HOT WATER SERVICE OR THE LAUNDRY COLD WATER OUTLETS WITH MAINS WATER BACK UP DP① TO ② TO TANK (MIN. 60% OF ROOF AREA) (ENSURE ANY FILL PLACED UNDER TANK BASE LOCATION IS COMPACTED AT LEAST AS "ROLLED FILL". HOWEVER SOME SETTLEMENT MAY OCCUR IF "CONTROLLED FILL IS NOT USED OR IF TANK BASE SUPPORT IS NOT PIERED TO FIRM NATURAL GROUND) TANK BASE TO BE SEATED ON HORIZONTAL BENCHED PLATFORM

— ENSURE SEALED SYSTEM DRAIN LAID LOW ENOUGH WHERE REQUIRED TO ALLOW GRAVITY FLOW DRAIN TO PASS ABOVE WITH SPECIFIED GRADE AND COVER.

— GRADE PAVING AND FILL AND/OR GRADE GROUND TO SUMP LOCATIONS OR PROVIDE LINED SPOON DRAIN BETWEEN SUMPS AT 0.30% FALL-REFER SHEET CD5-1 AND DD1

— THE NUMBER AND LOCATION OF SUMPS SHOWN ON THIS DRAWING ARE INDICATIVE ONLY AND MAY CHANGE SUBJECT TO ACTUAL SITE CONDITIONS AND THE EXTENT AND TYPE OF PAVEMENTS SELECTED.

-TREE REMOVAL IS SUBJECT TO APPROVAL BY THE RELEVANT AUTHORITY.

IMPORTANT NOTE:

CUT-FILL LINE NOT SHOWN DUE TO HOUSE SITE BEING ALL FILL

NOTE:

THE SITE IS CLASSIFIED AS 'P' (DUE TO TREES/TREE REMOVAL/EXISTING HOUSE) AND 'M-D' (DUE TO SOIL REACTIVITY) IN ACCORDANCE WITH AS 2870-2011

BENCH:

ENSURE BENCH IS GRADED FROM HOUSE.
SLOPE OF 1 IN 40 FOR PAVED AREAS.
SLOPE OF 1 IN 100 FOR GRASSED AREAS.

SEWER LAYOUT:

THE SEWER LAYOUT IS INDICATIVE ONLY, AND PROVIDED ONLY TO DETERMINE IF ADDITIONAL FOOTING PIERS ARE REQUIRED. IT IS NOT A SEWER LAYOUT PLAN FOR CONSTRUCTION PURPOSES. CONTACT THIS OFFICE IF THE SEWER IS TO BE LAID IN A DIFFERENT LOCATION AS THE FOOTING LAYOUT PLAN MAY NEED REVISION. SEWER PLUMBING IS TO BE DETAILED IN ACCORDANCE WITH AS 3500.2-2018 AND THE NCC-2019 VOL 3.

STORMWATER:

PROVIDE ADEQUATE PROTECTION OR COVER TO STORMWATER PIPES (300mm COVER WHERE PIPE IS LIKELY TO BE SUBJECT TO VEHICULAR LOADING AND 100mm MINIMUM COVER OTHERWISE). WHEN A SEALED STORMWATER SYSTEM IS USED REFER TO DETAIL SHEET. 1 IN 250 MIN FALL ON STORMWATER DRAINS EXCEPT IN SEALED SYSTEMS.

FLEXIBLE CONNECTIONS:

FLEXIBLE CONNECTIONS TO STORM WATER AND WASTE DRAINS ARE NOT NECESSARY ON THIS SITE.

SITE:

LEVELS SHOWN ARE APPROXIMATE ONLY AND ARE TO AN ASSUMED DATUM AS INDICATED ON SITE PLAN. SITE DIMENSIONS SHOWN IN BRACKETS () AND BOUNDARIES ARE ASSUMED ACCORDING TO INFORMATION AVAILABLE OR FOUND ON SITE, AND SHALL BE CONFIRMED BY THE OWNER.

OWNER PLEASE NOTE

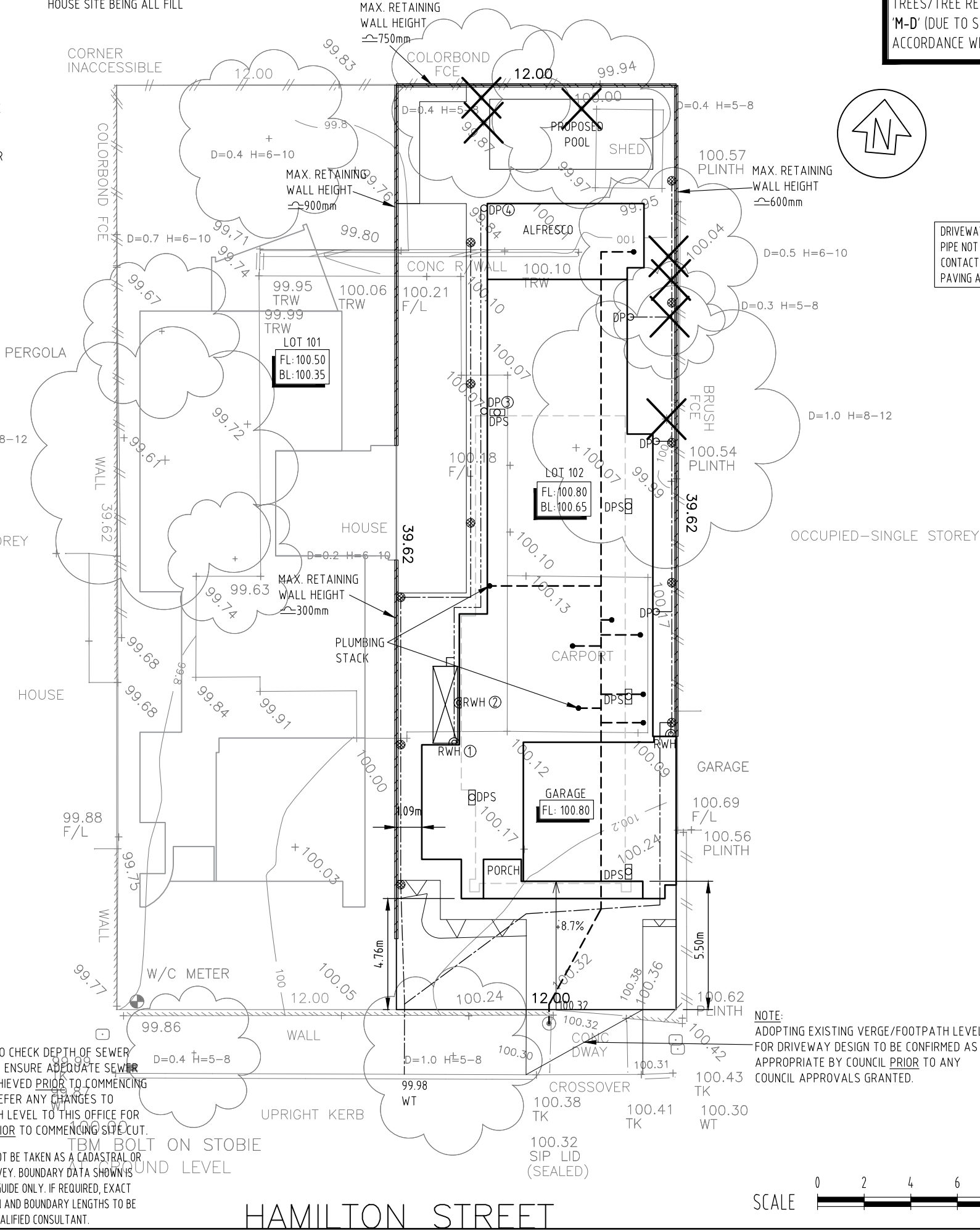
STORMWATER DISPOSAL INCLUDING SURFACE DRAINAGE, AS PER PLAN AND TO COUNCIL REQUIREMENTS ALL TO BE CONSTRUCTED BY OWNER, INCLUDING RETAINING WALLS, UNLESS STATED OTHERWISE IN THE CONTRACT. THE STORMWATER DISPOSAL SYSTEM AS INDICATED MUST BE INSTALLED AS SOON AS PRACTICABLE. ANY EXCAVATIONS ADJACENT TO FOOTINGS SHALL COMPLY WITH THE REQUIREMENTS OF CLAUSE 4 IN APPENDIX B OF FOOTING REPORT. WRITTEN DIMENSIONS SHALL TAKE PRIORITY OVER SCALED DIMENSIONS. ANY DISCREPANCY BETWEEN THE FOOTING PLAN/REPORT AND THE CIVIL PLAN SHALL BE REPORTED TO FMG ENGINEERING IMMEDIATELY. FLOOR LEVELS MAY BE INCREASED TO ACCOMMODATE SEWER GRADE REQUIREMENTS. OWNER AND/OR BUILDER ARE TO CHECK SEWER INVERTS PRIOR TO SITEWORKS COMMENCING.

LEGEND

	LINED SPOON DRAIN TO FALL AT MIN. OF 0.30% (BY OWNER)
	250sq x 280d "POLYSUMP"
	90° GRATED SURFACE S/W SUMP(TYPICAL)
	TANK INLET PIPE SEALED SYSTEM (REFER SHEET DD2) 90° PVC
	TANK OVERFLOW PIPE, REMAINDER OF DP'S AND SURFACE STORMWATER TO STREET W.T. (GRAVITY FLOW) 90° PVC
	SEWER 100° AT 2.0% MIN (i.e. 1 in 50)
	GRADE BANKS 1 IN 2 UNLESS NOTED OTHERWISE
	TREES EXISTING TREE
	EXISTING TREE TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION UNLESS OTHERWISE STATED
	FENCING EXISTING FENCING
	FENCING INCLUDED IN CONTRACT
	ETSA PILLAR
	LPOLE
	WAT CON
	SEWER IP
	SWIP
	TELSTRA
	GAS IP
	BDRY CNR (PEG FOUND)
	BDRY CNR (NO PEG)

NOTE: BUILDER TO CHECK DEPTH OF SEWER CONNECTION AND ENSURE ADEQUATE SEWER FALL CAN BE ACHIEVED PRIOR TO COMMENCING EARTHWORKS. REFER ANY CHANGES TO PROPOSED BENCH LEVEL TO THIS OFFICE FOR VERIFICATION PRIOR TO COMMENCING SITE CUT.

THIS PLAN SHALL NOT BE TAKEN AS A CADASTRAL OR IDENTIFICATION SURVEY. BOUNDARY DATA SHOWN IS TO BE TAKEN AS A GUIDE ONLY. IF REQUIRED, EXACT RESIDENCE LOCATION AND BOUNDARY LENGTHS TO BE ESTABLISHED BY QUALIFIED CONSULTANT.



DRIVEWAY: 300mm COVER ONLY REQUIRED WHERE PIPE NOT PROTECTED BY PAVING ABOVE. CONTACT THIS OFFICE FOR FURTHER ADVICE IF NO PAVING ABOVE.

NOTE: ADOPTING EXISTING VERGE/FOOTPATH LEVELS FOR DRIVEWAY DESIGN TO BE CONFIRMED AS APPROPRIATE BY COUNCIL PRIOR TO ANY COUNCIL APPROVALS GRANTED.



Engineering your success. ADELAIDE MELBOURNE SYDNEY

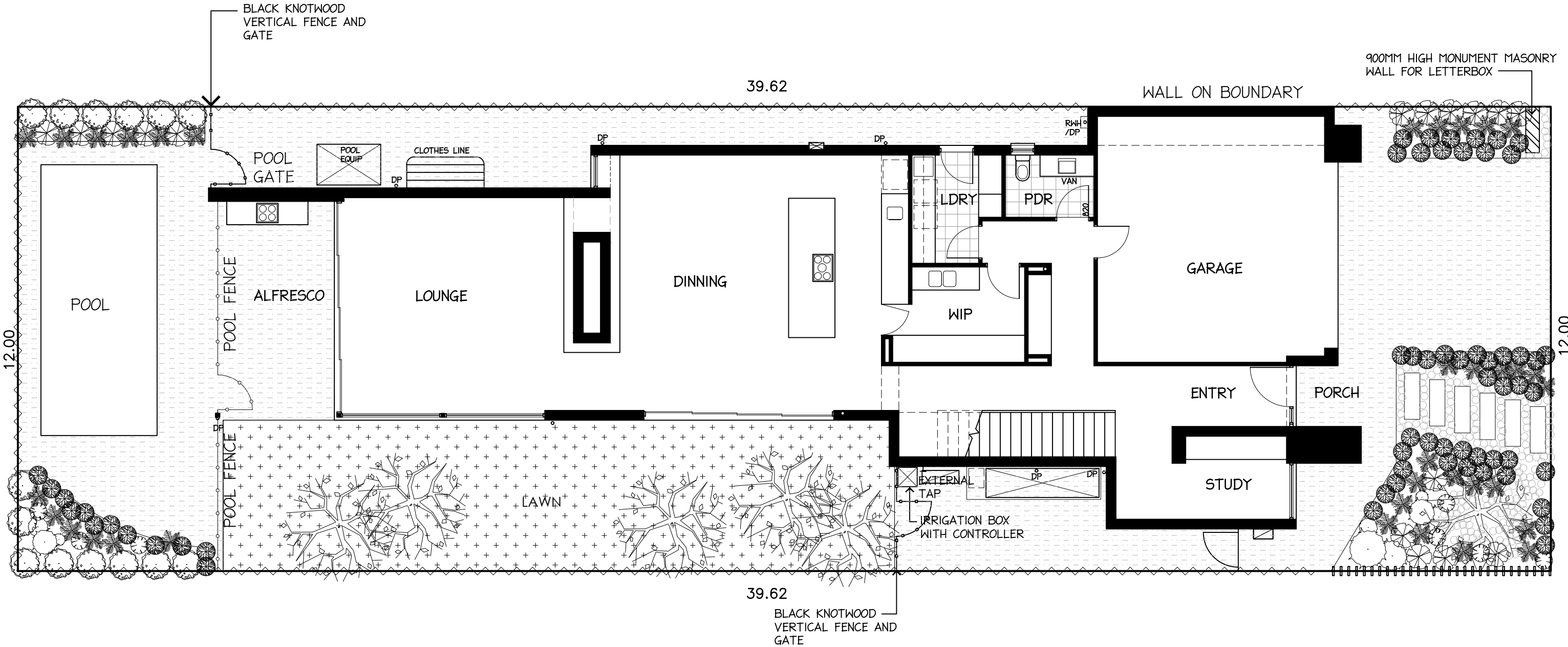
ENGINEERING

fmgengineering.com.au

P 08 8132 6600 | 67 Greenhill Rd, Wayville SA 5034

ABN 58 083 071 185 | Quality Management Systems ISO 9001 Certified

SIGNATURE		
CLIENT Scott Salisbury Homes		
PROJECT TITLE PROPOSED RESIDENCE		
SITE ADDRESS Lot 102, 6 Hamilton Street, SOMERTON PARK, SA 5044		
DRAWING TITLE CIVIL PLAN		
No. OF SHEETS 1 OF 1	SCALE 1:200 @ A3	DATE STARTED 10/10/2022
DRAWN AE	SITE ID & JOB No. S61751 - 282849	REV.
DESIGNED AE	DRAWING No.	
CHECKED AR	HC01	



- SILVER BIRCH - BETULA PENDULA
- MAGNOLIA TEDDY BEAR - MAGNOLIA GRANDIFLORA
- MEXICAN ORANGE BLOSSOM - CHOISYA
- TINY TIM - EUPHORBIA CHARACIAS WULFENII
- BLUE CHALKSTICKS
- FOXTAIL FERN - ASPARAGUS AETHIOPICUS 'MYERSII'
- BLUE WAVES - COTYLEDON ORBICULATA
- ZOYSIA GRASS TENUIFOLIA



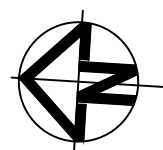
SILVER BIRCH IN LAWN



BLUE CHALK STICKS & FOXTAIL



LUMPY GRASS UNDER TRESS WITH BLUE CHALK STICK



LANDSCAPING PLAN
SCALE 1:100

SCOTT SALISBURY HOMES
Licence No. GL57020
ABN 97 004 375 167
PO BOX 2075
MORPHETTVILLE SA 5043
474 Anzac Highway
CAMDEN PARK SA 5038
Phone: (08) 8376 6555
Fax: (08) 8376 0205
Email: homes@scottsalisburymhomes.com.au
Web: www.scottsalisburymhomes.com.au

Client: HRF
Project: PROPOSED LANDSCAPING
At: LOT 102 No.6B HAMILTON ST
SOMERTON PARK

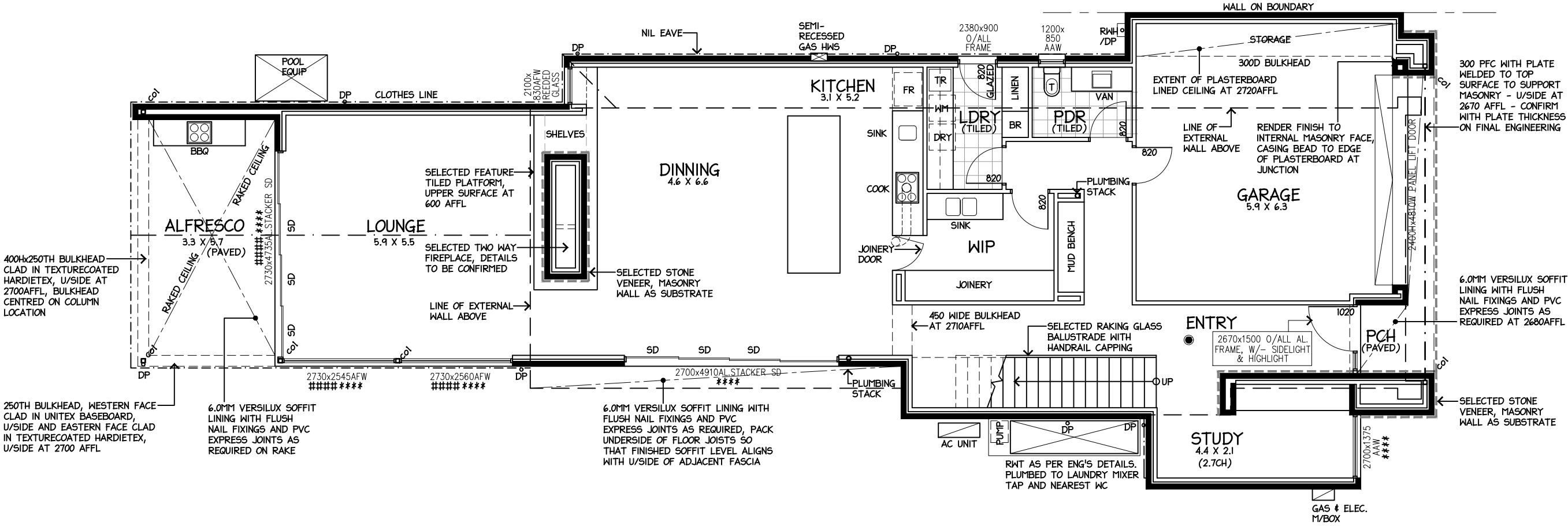
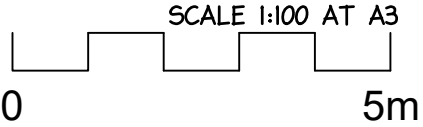
Designer: MW	Drawn by: MW
Date: 30.11.22	Sheet: 1 OF 1
Issue: A	Job Number: 12040

PLOTTED POSITION OF BOUNDARY IS APPROXIMATE ONLY
SITE DIMENSIONS SHALL BE CONFIRMED BY OWNER

APPROX.

TOTAL SITE	475.4
SITE COVER (%)	204.9 (43.1)
SOFT LANDSCAPING (%)	105.3 (22.1)
- FORWARD OF BUILDING LINE (%)	30.2 (45.0)
P.O.S (%)	164.8 (34.7)

Phone: (08) 8376 6555
Fax: (08) 8376 0205
Email: homes@scottssalisburyhomes.com.au
Web: www.scottssalisburyhomes.com.au



GROUND FLOOR PLAN
SCALE 1:100

NOTES

ALL KITCHEN & WET AREA LAYOUTS SHOWN ON THIS PLAN ARE INDICATIVE ONLY. REFER TO JOINERY PLANS FOR CORRECT LAYOUTS AND PLUMBING POSITIONS

PROVIDE ELECTRICAL CONDUIT IN SLAB TO KITCHEN ISLAND BENCH WHERE APPLICABLE

CONCRETE SLABS BELOW MAIN FLOOR TILING TO BE REINFORCED AS PER ENGINEER'S RECOMMENDATION

2340 HIGH INTERNAL DOORS TO HAVE TIMBER FRAME OPENING OF 2410

REFER TO JOINERY AND ROBE LAYOUTS FOR ANY PLASTERBOARD LINED BULKHEADS REQUIRED ABOVE JOINERY OR ROBES

RECESSED DOOR / WINDOW FRAME, 50mm DEEP REBATE (WIDEN TO SUIT)

● HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP INSTALLED IN ACCORDANCE WITH AS 3786. SMOKE ALARMS COMPLYING WITH AS 3786 TO BE INTERCONNECTED IN ACCORDANCE WITH NCC VOL.2 PART 3.7.5.2

REMOVABLE DOOR HINGES AS REQUIRED TO BE FITTED IN ACCORDANCE WITH NCC VOL.2 PART 3.8.3.3

PROVIDE RESTRICTED WINDOW OPENINGS IN ACCORDANCE WITH VOL.2 PART 3.9.2.6 AND 3.9.2.7.

□ STEEL COLUMN AS PER ENGINEER'S DETAILS

DP ○ 75Ø ROUND PVC DOWNPIPES (PAINTED) UNLESS OTHERWISE NOTED

[R/A] FLUSHABLE ROOF ACCESS HATCH

SD STRIP DRAIN

FT ⚡ FLOOR TRAP - FINAL LOCATION TO BE CONFIRMED

**** LIGHTWEIGHT CLADDING BOARD WITH AN ACRYLIC COATING ABOVE OPENING

PLANNING ISSUE

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Client:.....

Date:.....

AMENDMENTS

A	INITIAL ISSUE	HH	26.09.22
B	GENERAL AMENDMENTS	HH	13.10.22
C	GENERAL AMENDMENTS	HH	21.10.22
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F	GENERAL AMENDMENTS	HH	06.03.23
G	GENERAL AMENDMENTS	LT	28.03.23
H	GENERAL AMENDMENTS	HH	31.03.23

AREAS

m2

GROUND LIVING	:	164.0
UPPER LIVING	:	133.6
GARAGE	:	41.6
PORCH	:	1.7
ALFRESCO	:	20.2
TOTAL	:	361.1
OVERHANGS	:	8.4

Council:.....

Zone:.....

No Further Changes

Sign:.....

Date:.....

Client:
HRF

Project:
PROPOSED NEW RESIDENCES

At:
LOT 102, No.6 HAMILTON ST.
SOMERTON PARK

Designer:
MW

Drawn by:
HH

Date:
26.09.22

Sheet:
2 OF 5

Issue:
H

Job Number:
12040

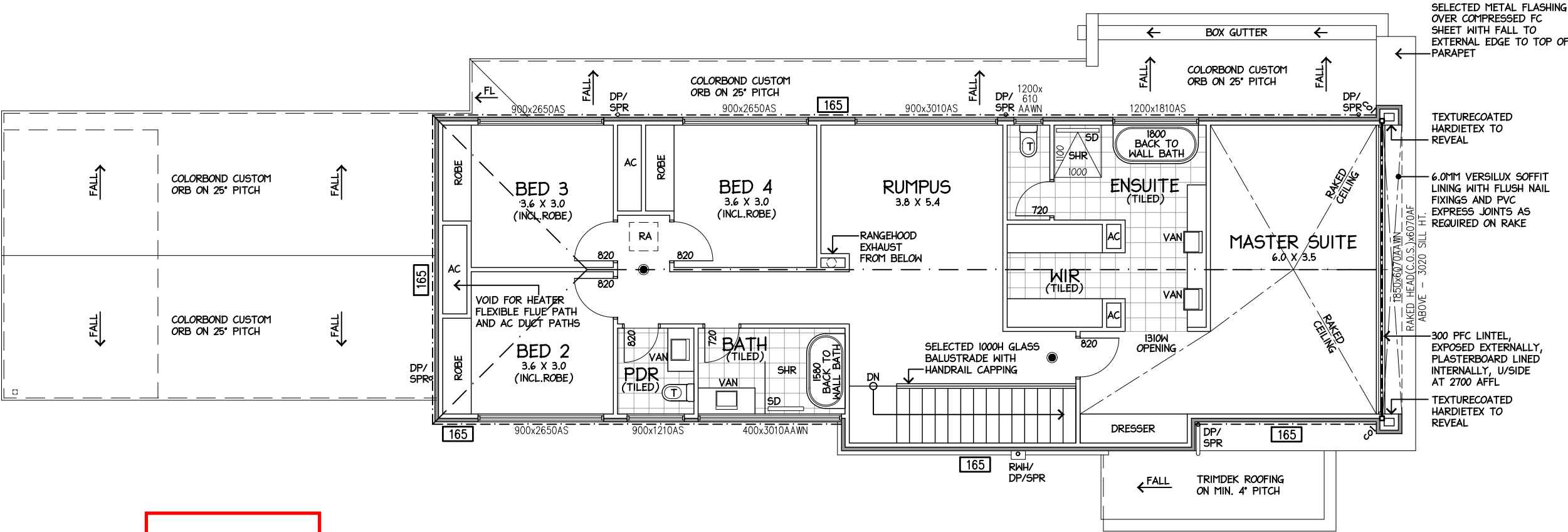
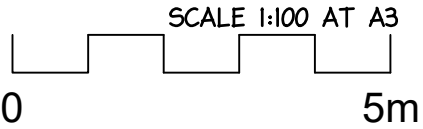
SCOTT SALISBURY HOMES

Licence No. GL57020
ABN 97 004 375 167

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MORPHETTVILLE SA 5043

474 Anzac Highway
CAMDEN PARK SA 5038

Phone: (08) 8376 6555
Fax: (08) 8376 0205
Email: homes@scottsalisburyhomes.com.au
Web: www.scottsalisburyhomes.com.au



CITY OF HOLDFAST BAY
AMENDED PLAN
4/04/2023

UPPER FLOOR PLAN
SCALE 1:100

NOTES

ALL KITCHEN & WET AREA LAYOUTS SHOWN ON THIS PLAN ARE INDICATIVE ONLY. REFER TO JOINERY PLANS FOR CORRECT LAYOUTS AND PLUMBING POSITIONS

PROVIDE ELECTRICAL CONDUIT IN SLAB TO KITCHEN ISLAND BENCH WHERE APPLICABLE

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DP ○ 75Ø ROUND PVC DOWNPIPES (PAINTED) UNLESS OTHERWISE NOTED

CONTROL JOINTS TO EXTERIOR WALL CLADDINGS AS PER ENGINEER'S SPECIFICATION AND AS PER MANUFACTURER'S SPECIFICATIONS FOR EACH CLADDING PRODUCT

□ R/A FLUSHABLE ROOF ACCESS HATCH

SD STRIP DRAIN

FT ○ FLOOR TRAP - FINAL LOCATION TO BE CONFIRMED

165 DENOTES OVERALL LIGHTWEIGHT WALL THICKNESS WITH 75mm UNITEX CLADDING AND SINGLE FRAME.

PLANNING ISSUE

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Council:.....

Zone:.....

No Further Changes

Sign:.....

Date:.....

Client:
HRF

Project:
PROPOSED NEW RESIDENCES

At:
LOT 102, No.6 HAMILTON ST.
SOMERTON PARK

Designer:
MW

Drawn by:
HH

Date:
26.09.22

Sheet:
3 OF 5

Issue:
H

Job Number:
12040

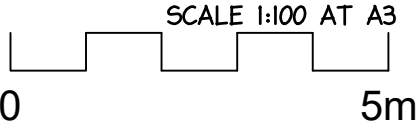
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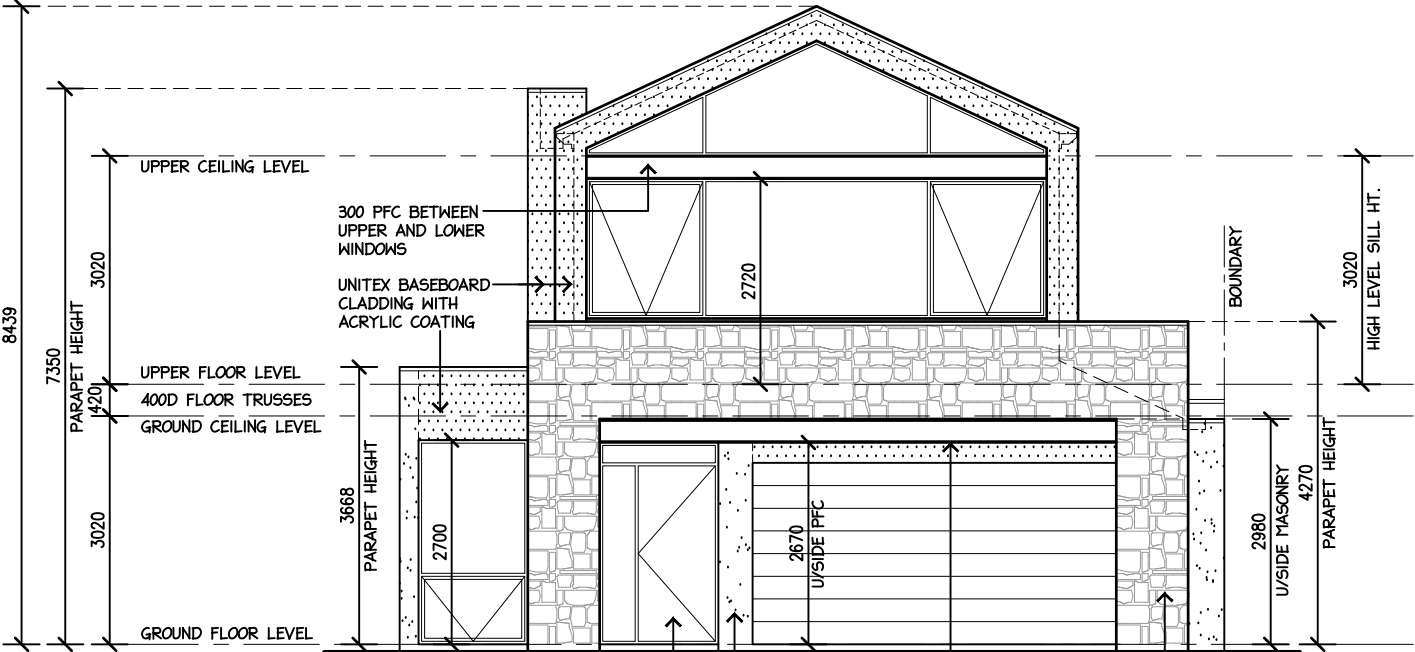
PO BOX 2075
MORPHETTVILLE SA 5043

474 Anzac Highway
CAMDEN PARK SA 5038

Phone: (08) 8376 6555
Fax: (08) 8376 0205
Email: homes@scottsalisburymhomes.com.au
Web: www.scottsalisburymhomes.com.au



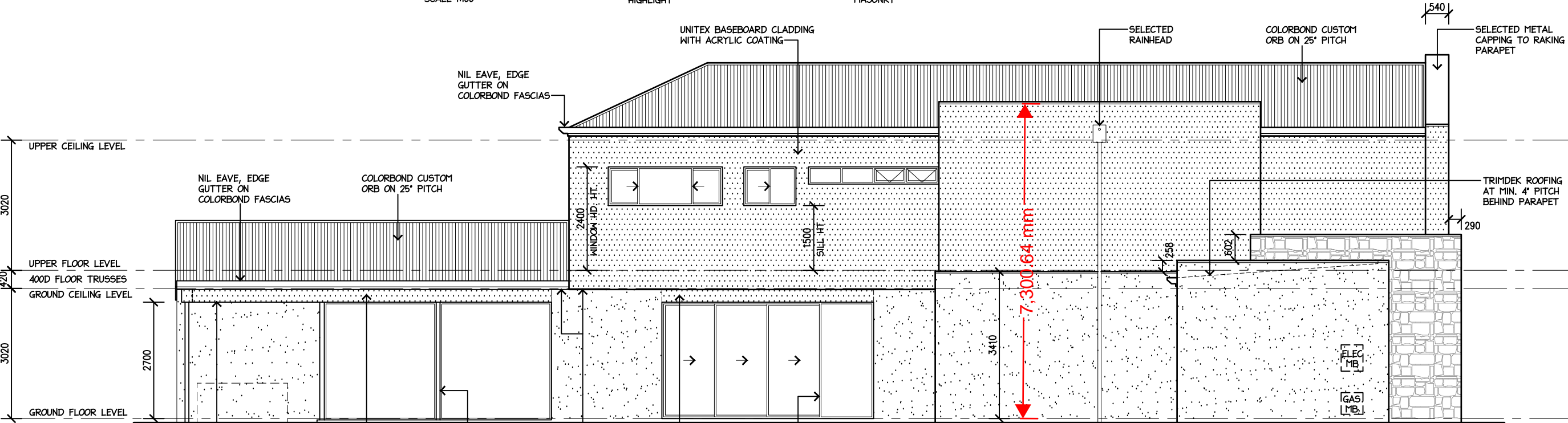
CITY OF HOLDFAST BAY
AMENDED PLAN
4/04/2023



NOTE:
CONTROL JOINTS TO EXTERIOR WALL
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FOR EACH CLADDING PRODUCT

PROVIDE RESTRICTED WINDOW
OPENINGS IN ACCORDANCE WITH NCC
VOL.2 PART 3.9.2.6 AND 3.9.2.7.

SOUTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

PLANNING ISSUE

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Zone:.....

No Further Changes
Sign:.....
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Project:
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LOT 102, No.6 HAMILTON ST.
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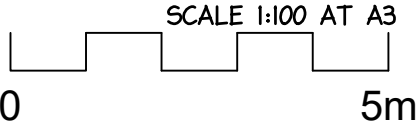
Designer:
MW
Drawn by:
HH

Date:
26.09.22
Sheet:
4 OF 5

Issue:
H
Job Number:
12040

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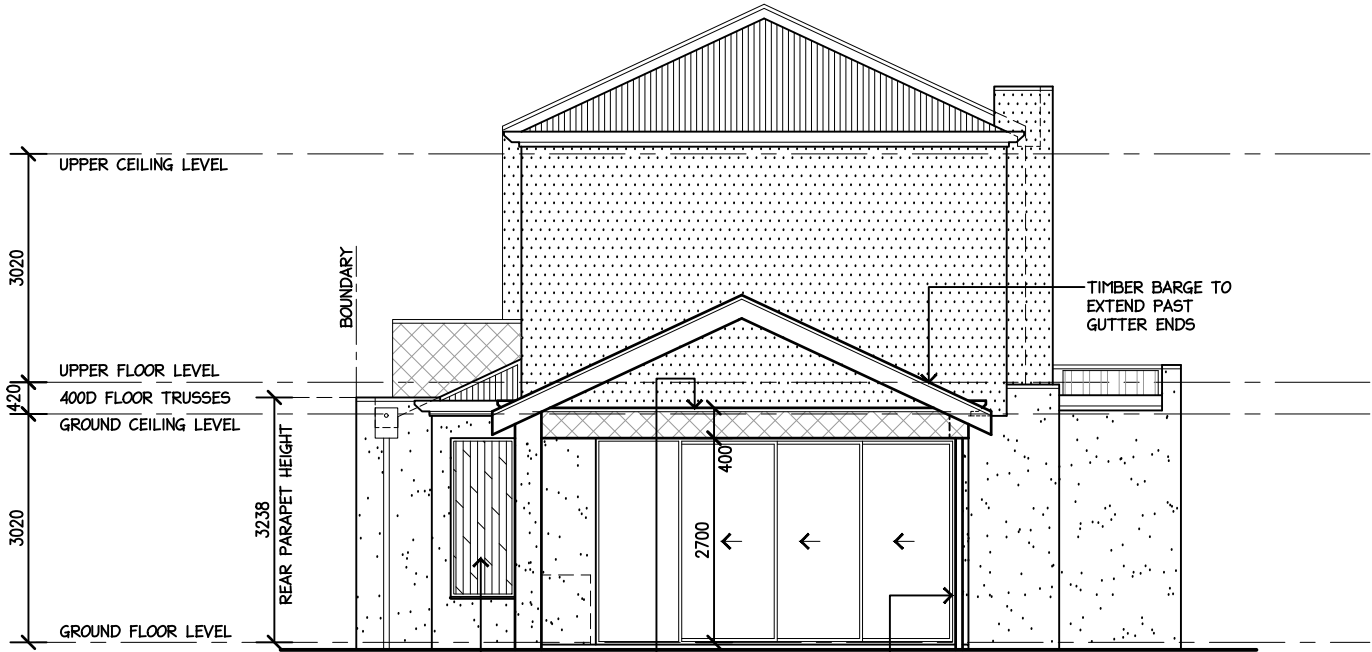
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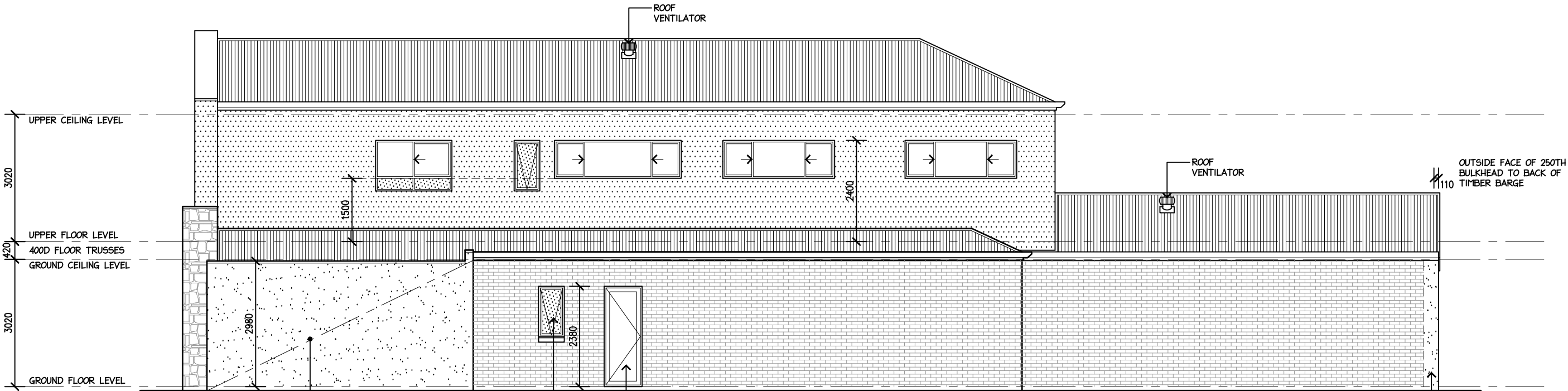
CITY OF HOLDFAST BAY
AMENDED PLAN
4/04/2023

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NORTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

PLANNING ISSUE

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Council:.....
Zone:.....

No Further Changes
Sign:.....
Date:.....

Client:
HRF
Project:
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At:
LOT 102, No.6 HAMILTON ST.
SOMERTON PARK

Designer:
MW
Drawn by:
HH

Date:
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Job Number:
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HOMES

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Adelaide
12/154 Fullarton Rd
Rose Park, SA 5067
08 8333 7999
urps.com.au

28 March 2023

Michael Gates
Development Services Lead
City of Holdfast Bay

Uploaded to PlanSA Portal

Dear Michael

Proposed Two-Storey Detached Dwellings at 6 Hamilton Street, Somerton Park

Introduction and Proposal

URPS has been engaged by Scott Salisbury Homes to lodge this development application for two double storey detached dwellings.

Assessment Process

The subject land is in the General Neighbourhood Zone of the Planning & Design Code (the Code) as of 16 March 2023.

The following and Overlays are relevant to this site and application:

- Hazards (Flooding – General) Overlay
- Stormwater Management Overlay
- Urban Tree Canopy Overlay

The development application is subject to the performance assessed process as identified in the Zone.

The proposed dwelling complies with the Zone's building height and boundary wall height and length guidelines. The development application will therefore not require public notification.

Planning Assessment

The proposal meets the majority of the relevant Designated Performance Features of the Code.

Where a DPF is not satisfied, an assessment of the development against the relevant Performance Outcomes follows the table below.

Table 1 Assessment against most relevant quantitative guidelines

Parameter	PD Code Guideline	Dwelling 1	Dwelling 2	Criteria Met
Maximum site coverage	60%	42%	43%	Met
Maximum building height	9 metres/2 levels	8.62m/2 levels	8.9m	Met
Minimum setback from primary road frontage	No more than 1m in front of the average setback to the building line of existing buildings on adjoining sites i.e. no less than 6 metres	5.5m	5.5m	Not met
Boundary Walls	Less than 3 metres in height and less than 11.5 metres in length	N/A	6.3m length 2.98m height	Met
Minimum ground level side setbacks	900mm where wall height is up to 3m	1.0m (west) 1.35m (internal)	2.18m (east) 1.09m (internal)	Met
Minimum upper-level side setbacks	900mm plus 1/3 height above 3 metres (plus an additional 1 metre for any southern side boundary)	2.78m (west) 2.17m (internal)	2.18m (east) 2.78m (internal)	Met
Minimum ground level rear setback	4 metres	9.68m	8.2m	Met



Parameter	PD Code Guideline	Dwelling 1	Dwelling 2	Criteria Met
Minimum upper-level rear setback	6 metres	6.23m	14m	Met
Minimum private open space	60m ²	138m ²	165m ²	Met
Minimum number of on-site car parking spaces	2	2		Met
Garage	Not forward of the building line, setback at least 5.5m, door not wider than 7m nor 50% of the dwelling width	Garage slightly forward of building line		Not met
Driveway crossover	Not interfering with a street tree	No interference		Met
Habitable room	Facing the street	Bed 2/3	Master Bed	Met
Maximum cut and fill	1m cut and 1m fill	<1m of fill		Met
Design in Urban Areas	External Appearance – include 3 design features	Yes		Met

Primary Street Setback

Zone PO 5.1 seeks:

PO 5.1 Buildings are setback from primary street boundaries to contribute to the existing/emerging pattern of street setbacks in the streetscape.

The proposed development satisfies PO 5.1 because:

- The northern side of Hamilton Street exhibits a discordant front setback pattern with setbacks ranging from 5.5m to 12m. Newer buildings which fronts the southern side of Hamilton Street are typically a lot closer.
- The siting of the proposed buildings is consistent with this existing and emerging pattern of street setbacks.

Residential Development – Low Rise (External Appearance)

Part 4 - Design in Urban Areas PO 20.1 seeks:

PO 20.1 Garaging is designed to not detract from the streetscape or appearance of a dwelling.

The proposed development satisfies PO 20.1 because:

- The proposed garaging adopts a recessive element through various design techniques including:
 - punctuated feature masonry canopies and bulkhead which sit forward of the garaging.
 - vertical timber clad feature cladding and curved masonry brick
 - dark panel lift door which aids in concealing their presence.

Overlays

The proposed development satisfies the requirements of the applicable Overlays, since

- The proposed buildings incorporate a raised finished floor level to appropriately address flood levels associated with the 1% AEP flood event.
- The Civil Plans prepared by RCI Engineers includes a 5000 Litre retention tank connected to 60% of the roofed area for each dwelling.
- The site plan references the planting of one medium sized tree per dwelling.

Conclusion

The proposed development sufficiently satisfies the relevant provisions of the Code to warrant Planning Consent.

Please contact me on 8333 7999 if you have any questions.

Yours sincerely



Jake Vaccarella
Senior Consultant

Details of Representations

Application Summary

Application ID	23009117
Proposal	2 x two-storey detached dwellings with swimming pools
Location	6 HAMILTON ST SOMERTON PARK SA 5044

Representations

Representor 1 - Ian Flint

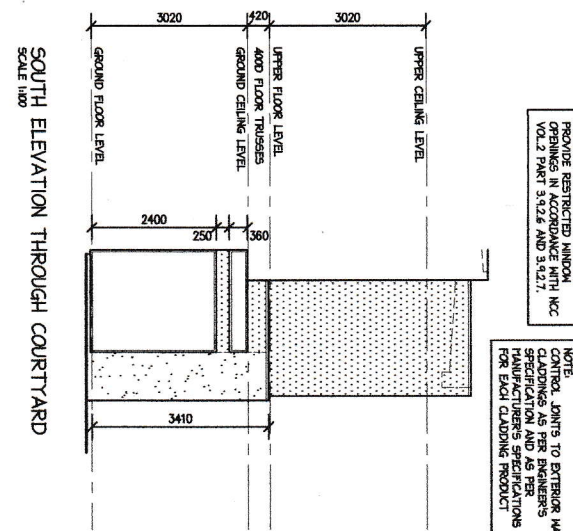
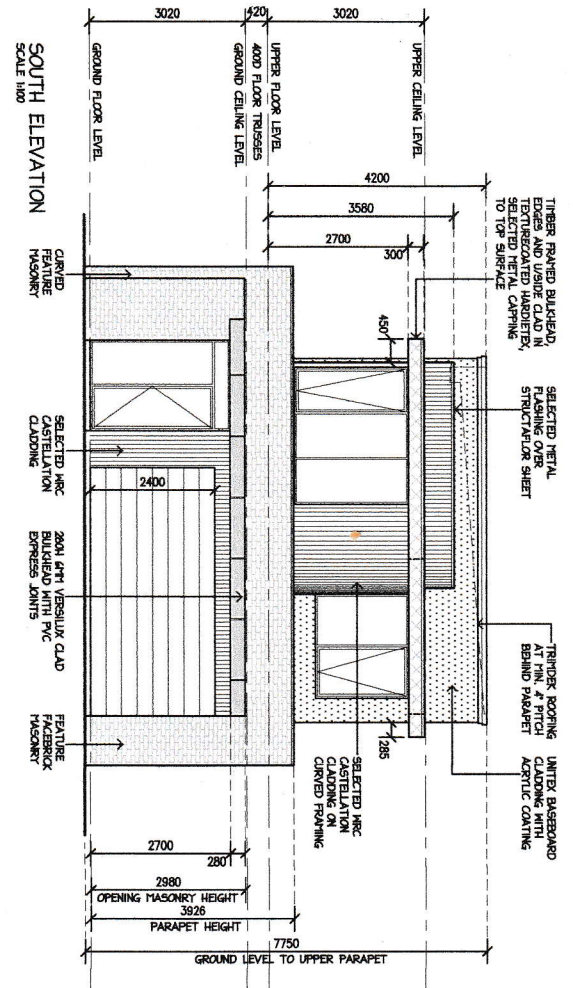
Name	Ian Flint
Address	8 Hamilton Street SOMERTON PARK SA, 5044 Australia
Submission Date	20/04/2023 02:45 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development with some concerns

Reasons

It appears that there is an upstairs window facing West and overlooking my swimming pool, kitchen, family room and outside alfresco area. If this window is in the plans, then I strongly disagree with the incorporation of this window. I also have an irrigation hose on my eastern side outside my garage and on my property to feed water to a garden bed inside my driveway. This needs to remain and I don't mind if it is covered over.

Attached Documents

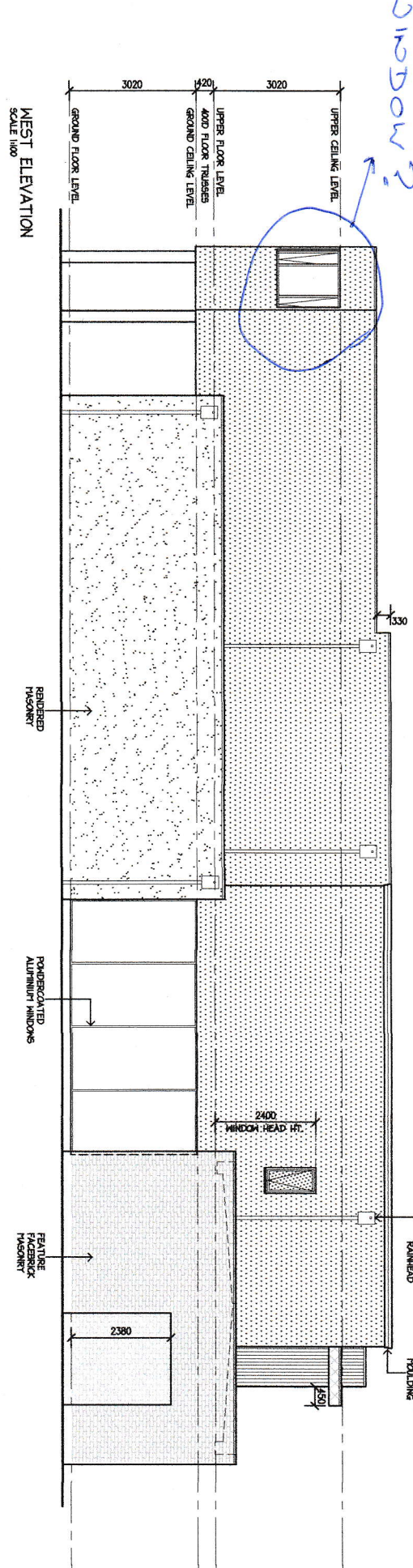
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PROPOSE RESTRICTED WINDOW OPENINGS IN ACCORDANCE WITH NCC VOL.2 PART 3.9.2.6 AND 3.9.2.7

NOTE: CONTROL JOINTS TO EXTERIOR WALL CLADDING AS PER ENGINEERS SPECIFICATION AND AS PER MANUFACTURERS SPECIFICATIONS FOR EACH CLADDING PRODUCT

SCALE 1:100 AT A3
0 5m



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Client:
Date:

AMENDMENTS	
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HH	20.09.22
HH	13.10.22
HH	21.11.22
HH	20.02.23
HH	04.03.23

Council:
Zone:

No Further Changes
Sign:
Date:

Client: HRF	
Project: PROPOSED NEW RESIDENCES	
At: LOT 101, No.6 HAMILTON ST, SOMERTON PARK	
Design: MW	Drawn by: HH
Scale: 1:100	Sheet: 4 OF 5
Date: 23.09.22	Job Number: 12039
Scott Salisbury Homes	
Licence No. 0242020	
ABN 77 004 353 167	
PO BOX 2075	
MOORHILLVALE SA 5048	
474 KINGS HIGHWAY	
CANBERRA PARK SA 5008	
Phone: (08) 8373 6555	
Email: info@scottsalisburyhomes.com.au	
Web: www.scottsalisburyhomes.com.au	

Representations

Attachment 2.2

Representor 2 - Michael Burdett

Name	Michael Burdett
Address	51A Whyte Street SOMERTON PARK SA, 5044 Australia
Submission Date	28/04/2023 11:43 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development with some concerns

Reasons

Home 1 site plan indicates the pool level apron 700mm above natural ground. Then the eastern side of the lot batters down to ground level. This seems odd but I have concern if this is the case. I would end up with a 6 foot fence on top of a 2 foot retaining wall for half of my rear view, then just a 6 foot fence for the remainder. Surely this is not the outcome desired. I am concerned at an 8 foot barrier, this is excessive but at least it must all be at the same height. I could see no details of the fence colour, but hope that will all be revealed in the fencing notice. I have no concerns with the house as proposed.

Attached Documents

Representations

Attachment 2.3

Representor 3 - Michael and Andrea Dayman

Name	Michael and Andrea Dayman
Address	51 WHYTE ST SOMERTON PARK SA, 5044 Australia
Submission Date	05/05/2023 09:57 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development with some concerns
Reasons We note that the planned block upgrade has lifted the ground approximately 700mm. The plans are unclear on how the fence treatment will be dealt with on our adjoining property.	

Attached Documents

Ref: 23ADL-0181



17 May 2023

Alexander Stamatopoulos
Development Officer Planning
City of Holdfast Bay

Adelaide
12/154 Fullarton Rd
Rose Park, SA 5067
08 8333 7999
urps.com.au

Uploaded to PlanSA Portal

Dear Alex

23009117 – Response to Representations

Introduction and Proposal

As you are aware, I act for Scott Salisbury Homes, the applicant for the above development application.

I have reviewed each of the representations received during the public notification period and provide a response to the key planning concerns below.

The response to the representations is accompanied by an amended planning set which includes a landscaping plan for Dwelling 2 (refer **Appendix A**).

Summary of Representations

A total of three representations were received during the public notification period. None of which have expressed a desire to be heard by the Council Assessment Panel.

The concerns raised in the representations relate to overlooking and the extent of fill and retaining at the rear of the subject land.

Response to Concerns

Overlooking

The neighbour on the adjoining allotment to the west at 8 Hamilton Street is concerned that the window to the master bedroom on the first floor for Dwelling 1 will overlook habitable rooms and private open space areas of their property.

Design in Urban Areas Performance Outcome 10.1 of the Code is relevant to the assessment of privacy and seeks:

PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.

Its companion Designated Performance Feature (DPF 10.1) provides that one way to satisfy PO 10.1 is to ensure upper level windows facing side or rear boundaries have “sill heights greater than or equal to 1.5m above finished floor level”.

As evidenced in figure 1 below, the sill height of the window in question is 1.5m above the finished floor level of the first floor and therefore satisfies DPF 10.1.

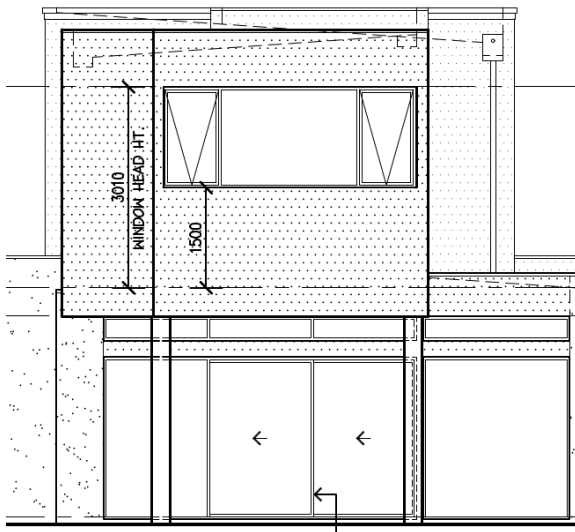


Figure 1 – Sill height of window to Master Bed as portrayed on north elevation

Earthworks & Retaining Walls

Both neighbours of the two adjoining allotments at 51 and 51A Whyte Street are concerned that the development comprises incidental fill and retaining walls of up to 750mm in height at the rear of the site.

Additionally, the representor at 51A is concerned that the accumulative height of the retaining wall and fence is excessive.

With respect to earthworks, Design in Urban Areas DPF 8.1 contemplates the filling of land of up a vertical height of 1m. The extend of fill introduced to the rear of the site equates to 750mm. This is comfortably within the tolerances advised in DPF 8.1.

With respect to retaining walls and fences, Design in Urban Areas PO 9.1 seeks that these structures are of “sufficient height”, “maintain privacy and security without unreasonably impacting visual amenity and access to sunlight for adjoining land”.



The combined maximum height of the retaining walls and fencing to the side and rear boundaries reaches 2.55 metres. This is only 450mm higher than a fence that does not require approval. Importantly, the fence provides privacy for both the future occupants and adjoining landowners, is of limited visual impact and maintains sunlight access into neighbouring land. For these reasons, it is contended that PO 9.1 has been satisfied.

Conclusion

Thanks for the opportunity to address the concerns of the representor. For the reasons outlined herein and as previously addressed as part of the initial submission, the proposed development satisfies the relevant provisions of the Code to warrant Consent.

I confirm my attendance in support of the proposal at the relevant Council Assessment Panel meeting.

Yours sincerely

Jake Vaccarella
Senior Consultant



Appendix A – Amended Planning Set