

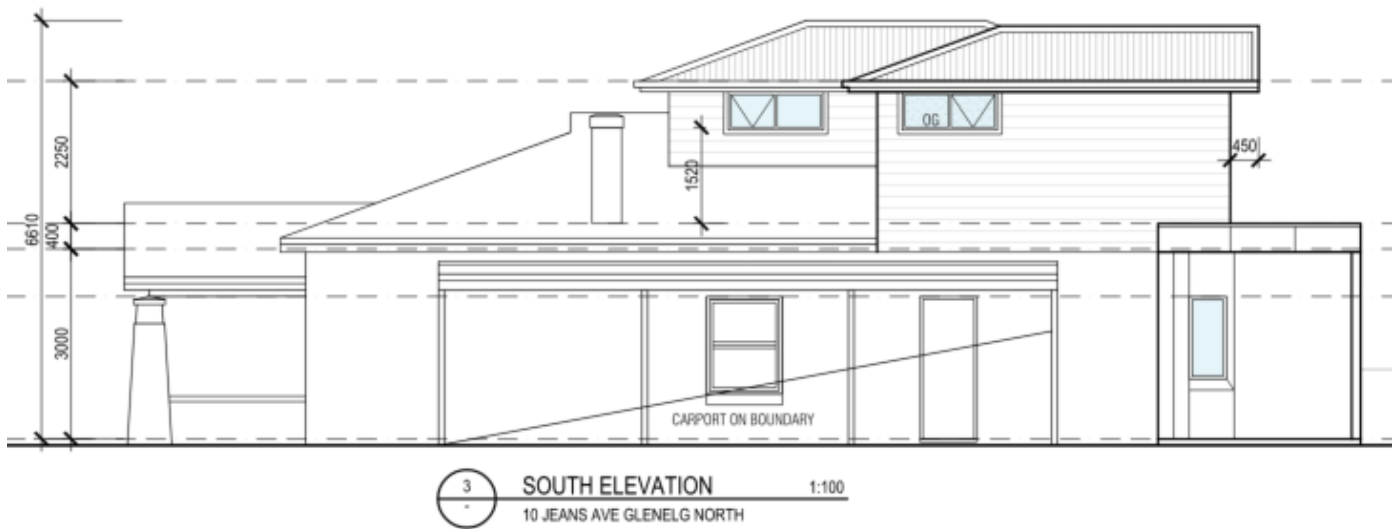
<b>DEVELOPMENT NO.:</b>	22004073
<b>APPLICANT:</b>	DESYN HOMES
<b>ADDRESS:</b>	10 JEANES AV GLENELG NORTH SA 5045
<b>NATURE OF DEVELOPMENT:</b>	Internal alterations to existing single storey detached dwelling and two storey addition, carport and verandah
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Established Neighbourhood</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Aircraft Noise Exposure</li> <li>• Airport Building Heights (Regulated)</li> <li>• Affordable Housing</li> <li>• Building Near Airfields</li> <li>• Character Area</li> <li>• Hazards (Flooding - General)</li> <li>• Prescribed Wells Area</li> <li>• Regulated and Significant Tree</li> <li>• Stormwater Management</li> <li>• Urban Tree Canopy</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Minimum Frontage</li> <li>• Minimum Site Area</li> <li>• Maximum Building Height (Levels)</li> </ul>
<b>LODGEMENT DATE:</b>	15 Feb 2022
<b>RELEVANT AUTHORITY:</b>	Assessment Panel at City of Holdfast Bay
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes
<b>RECOMMENDING OFFICER:</b>	Dean Spasic Development Officer - Planning

**CONTENTS:**

<b>APPENDIX 1:</b>	<b>Relevant P&amp;D Code Policies</b>	<b>ATTACHMENT 1: Proposed Plans</b>
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**DETAILED DESCRIPTION OF PROPOSAL:**

The proposal comprises an upper level addition to an existing single storey dwelling. The dwelling continues to present as single storey when viewed from the streetscape, as the upper level is setback 8.6 metres from the front of the existing building, which minimises the visibility of the addition.



*Southern side view of the development demonstrating the distance the upper level is set behind the main face*

#### SUBJECT LAND & LOCALITY:

##### Site Description:

**Location reference:** 10 JEANES AV GLENELG NORTH SA 5045

**Title ref.:** CT 5549/732 **Plan Parcel:** D2616 AL34 **Council:** CITY OF HOLDFAST BAY

The subject site is a 500 square metre allotment which contains a single storey detached dwelling, carport, verandah and swimming pool.

##### Locality

The subject locality is within an established neighbourhood, within a character overlay. The built form along Jeanes Avenue is predominately single storey bungalows. There is one two storey dwelling across the street at 5 Jeanes Avenue, which has a similar form to the proposal, albeit it has a wall that protrudes higher than the roof and therefore more visible from the streetscape.

The character area is known as the Glenelg North (East of Tapleys Hill Road) Character Area, which is defined by housing stock from the 1880s to 1920, characterised by larger scale single storey detached dwellings, bungalows, cottages of low scale and simple form with restrained detailing, mid-Victorian period cottages and villas, with detailing typical of the era, and some Inter-War Tudor style buildings.

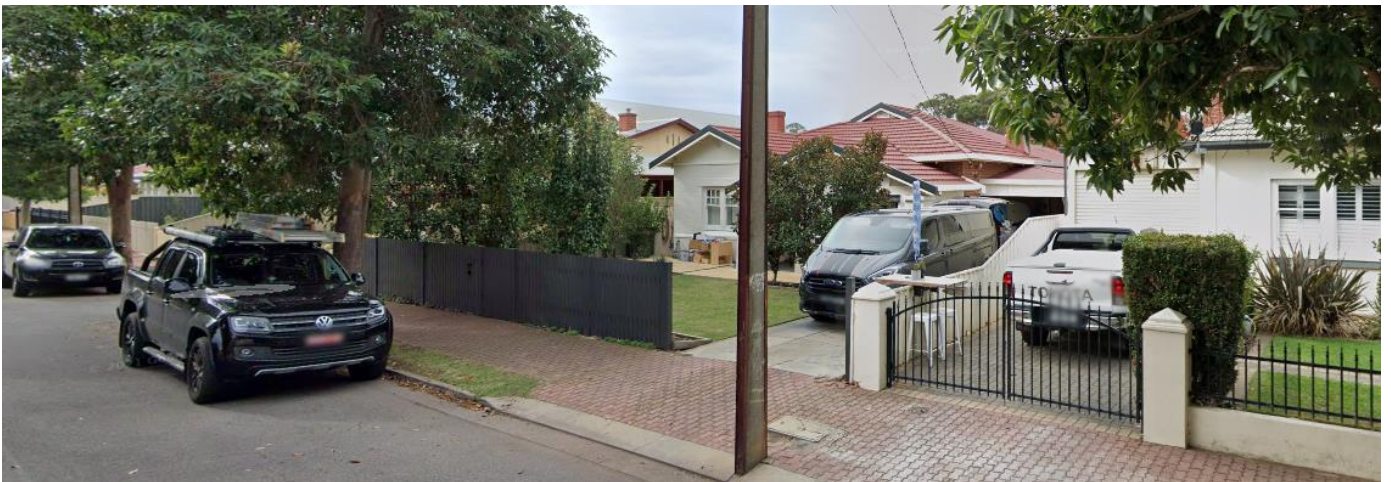
It is common for buildings to comprise a high degree of modulation and articulation, low scale, steep roof pitches, short roof spans, hip and gable roof forms, fine grain detailing, high solid to void ratio, vertical proportions to openings and low scale garages and carports.

Materials are typically sandstone, red brick facades, corrugated iron roofing and timber joinery.

The character is also defined by predominately single storey but some two storey buildings.



**Locality Map**



**View of existing dwelling**

**CONSENT TYPE REQUIRED:**

Planning Consent

**CATEGORY OF DEVELOPMENT:**

- **PER ELEMENT:** Dwelling addition: Code Assessed - Performance Assessed  
 Internal building work: Accepted  
 Verandah: Code Assessed - Performance Assessed  
 Dwelling alteration or addition
- **OVERALL APPLICATION CATEGORY:**  
 Code Assessed - Performance Assessed

- **REASON**  
 P&D Code

## PUBLIC NOTIFICATION

- **REASON**  
 Two levels in a zone that specifies a maximum building height of 1 level

Nil representations received.

## PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

### Design & Appearance

The upper level addition incorporates a design, materials and colours that match the existing dwelling. Although the 2-Dimensional front elevation, below, depicts a substantial looking building, the actual scale of the upper level is significantly limited when viewing the building from the footpath level and taking into consideration the distance the upper level is setback from the existing building façade. It is also noted that the front upper level walls are less than that of a typical two storey building. In effect, when viewing the building from street level, the existing façade will remain as the dominant visual element.



There is a nearby similar built form at 5 Jeanes Avenue, which gives a better indication of how the upper level will actually present at street level, although it should be noted that the proposed addition is lower, and therefore will not be as visually prominent:





***5 Jeanes Avenue, Glenelg North – which has a similar built form in terms of upper level placement relative to front of dwelling.***

The addition is set back behind the front wall of the existing dwelling and incorporates an overall form that matches the existing bungalow. This includes a matching roof pitch and corrugated roof (the existing concrete roof tiles on the dwelling are going to be replaced with corrugated sheeting), weatherboard cladding (which is found in some instances throughout the locality) and painted battens to the roof fascia. A condition of planning consent is included to ensure that the roof, wall and fascias are painted to match the existing dwelling, which is red roofing and off-white walls and fascias (as confirmed by the applicant).

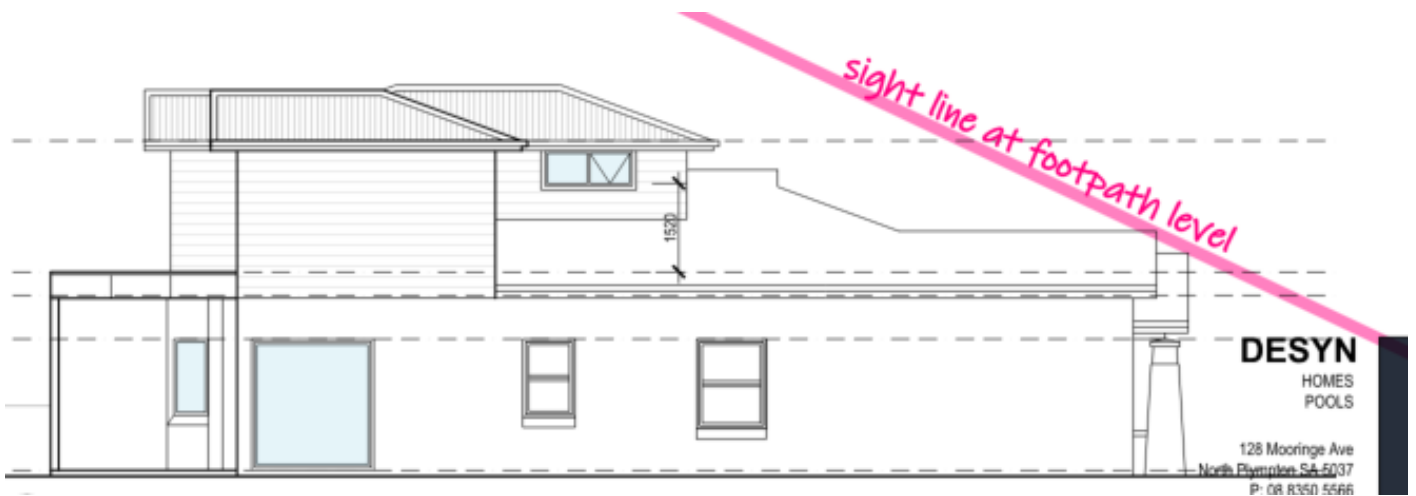
The addition maintains the high solid to void ratio and overall architectural theme of the existing dwelling, which is characteristic of the locality.

### **Building Height**

The Established Neighbourhood Zone references a maximum building height of 1 level. The building has been designed in such a way that the upper level is partially contained within the roof space, however in terms of its siting, it is more than 8 metres behind the main face of the single storey façade, the external wall height is only 5.5 metres high at the highest point, which is less than a conventional two storey dwelling. Critically, the upper level is not a key visual element as viewed from the footpath, as it is largely obstructed by the existing front roof.

Consideration is given to Performance Outcome 4.1 which states

*buildings that contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings. The proposed building is considered to satisfy the fundamental objective of PO 4.1.*



***Northern side elevation of proposed addition demonstrating the sight line at footpath level***

### **Boundary setbacks**

The 5.5 metre high upper level wall is setback 1.75 metres from the northern side boundary, 3.5 metres from the southern side boundary and 10.5 metres from the rear boundary, therefore satisfying all of the Design Code parameters for boundary setbacks.

### **Site Coverage**

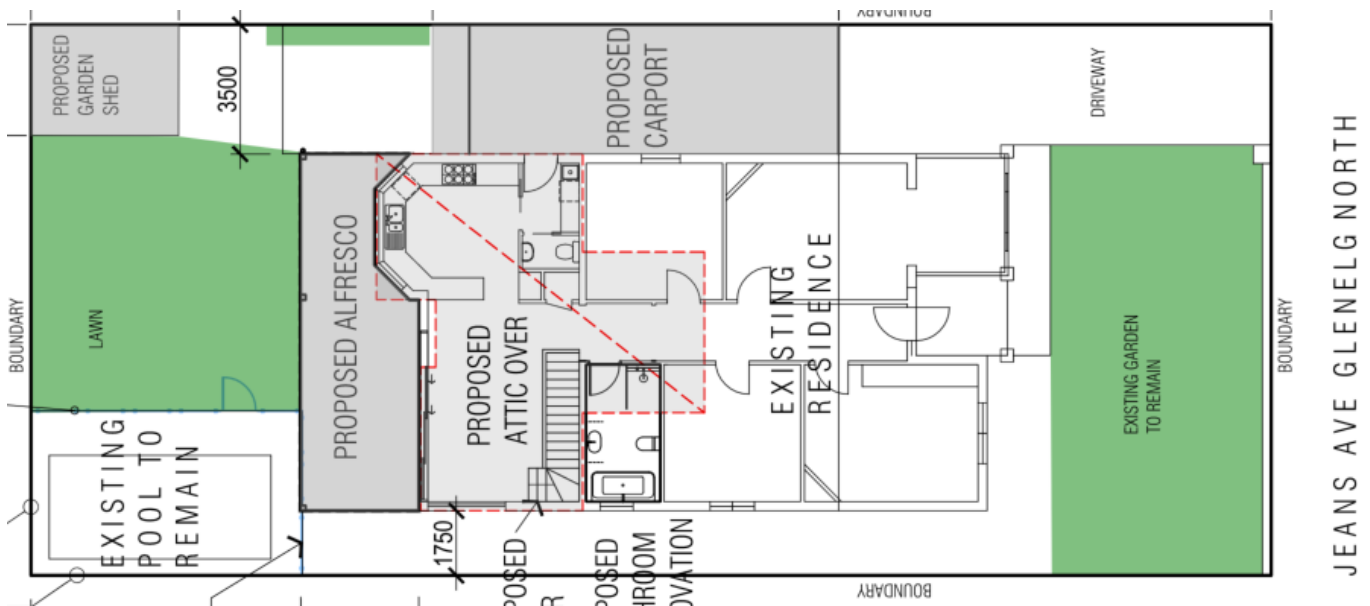
The proposal covers 45 percent of the site, which is within the maximum allowance of 50 percent, as per Performance Outcome 3.1 which seeks building footprints that are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.

### **Private Open Space**

There is 155 square metres of private open space provided to the side and rear of the dwelling, which is well above the minimum of 60 square metres required by the Design Code, in order to meet Performance Outcomes 21.1 and 21.2, which aim to achieve suitable sized areas of usable and conveniently access from living areas in order to meet the likely occupant needs.

### **Landscaping**

Soft landscaping equates to 28 percent of the site area and therefore above the minimum requirement of 20 percent of the site area. Performance Outcome 22.1 of the Design Code requires the provision of soft landscaping to minimise heat absorption and reflection, contribute to shade and shelter, provide stormwater infiltration and biodiversity and enhance the appearance of land and streetscapes.



### Visual Privacy

Upstairs windows have sill heights and obscured glazing at a minimum height of 1.5 metres above the floor level so as to avoid unreasonable overlooking, and therefore satisfy Performance Outcome 10.1 which seeks to mitigate direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood type zones.

### Carport

The open-sided, flat roofed carport is located on the southern side boundary with a height of 2.7 metres over a length of 11 metres. It replaces an existing carport of similar size and location and therefore not considered to present any adverse impacts on the southern adjacent property.

### CONCLUSION

The proposed development effectively satisfies all Design Code provisions, except for the reference to a maximum of 1 building level, which as expressed above, is considered to be insignificant in the overall merits of the proposal.

The proposed dwelling reflects good architectural design that is sympathetic to the character of the locality, and exceeds many quantitative provisions such as site coverage, private open space and soft landscaping.

### RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and

2. Development Application Number 22004073, by Desyn Homes is granted Planning Consent subject to the following reasons/conditions/reserved matters:

**CONDITIONS**

**Planning Consent**

1. The development granted approval shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).
2. That all upstairs windows on side and rear elevations shall have minimum window sill heights of 1.5 metres above finished floor level, or any glass below 1.5 metres shall be obscure and fixed shut or as otherwise approved.
3. The roof, wall and fascias shall be painted to match the existing dwelling, which is red roofing and off-white walls and fascias.
4. That landscaping as detailed in the approved plans shall be planted within 12 months of completion and shall be maintained in good health and condition at all times. Any such vegetation shall be replaced if and when it dies or becomes seriously diseased.
5. Tree(s) must be planted and/or retained in accordance with DTS/DPF 1.1 of the Urban Tree Canopy Overlay in the Planning and Design Code (as at the date of lodgement of the application). New trees must be planted within 12 months of occupation of the dwelling(s) and maintained.
6. Rainwater tank(s) must be installed in accordance with DTS/DPF 1.1 of the Stormwater Management Overlay in the Planning and Design Code (as at the date of lodgement of the application) within 12 months of occupation of the dwelling(s).

**ADVISORY NOTES**

**General Notes**

1. No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.
2. Appeal rights – General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.
3. This consent or approval will lapse at the expiration of 2 years from its operative date, subject to the below or subject to an extension having been granted by the relevant authority.
4. Where an approved development has been substantially commenced within 2 years from the operative date of approval, the approval will then lapse 3 years from the operative date of the approval (unless the development has been substantially or fully completed within those 3 years, in which case the approval will not lapse).



5. A decision of the Commission in respect of a development classified as restricted development in respect of which representations have been made under section 110 of the Act does not operate—
- a. until the time within which any person who made any such representation may appeal against a decision to grant the development authorisation has expired; or
  - b. if an appeal is commenced—
    - i. until the appeal is dismissed, struck out or withdrawn; or
    - ii. until the questions raised by the appeal have been finally determined (other than any question as to costs).

**OFFICER MAKING RECOMMENDATION**

**Name:** Dean Spasic

**Title:** Development Officer - Planning

**Date:** 03/05/2022