

DEVELOPMENT NO.:	23003491
APPLICANT:	BTF Constructions Pty Ltd
ADDRESS:	UNIT 1 44 AUGUSTA ST GLENELG EAST SA 5045
NATURE OF DEVELOPMENT:	Alterations and addition to existing dwelling with walls located on the southern boundary
ZONING INFORMATION:	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Established Neighbourhood</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Airport Building Heights (Regulated)</li> <li>• Affordable Housing</li> <li>• Building Near Airfields</li> <li>• Character Area</li> <li>• Hazards (Flooding - General)</li> <li>• Prescribed Wells Area</li> <li>• Regulated and Significant Tree</li> <li>• Stormwater Management</li> <li>• Traffic Generating Development</li> <li>• Urban Tree Canopy</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Minimum Frontage (Minimum frontage for a detached dwelling is 14m; semi-detached dwelling is 14m)</li> <li>• Minimum Site Area (Minimum site area for a detached dwelling is 600 sqm; semi-detached dwelling is 600 sqm)</li> <li>• Maximum Building Height (Levels) (Maximum building height is 1 level)</li> </ul>
LODGEMENT DATE:	13 Feb 2023
RELEVANT AUTHORITY:	Assessment panel at City of Holdfast Bay
PLANNING & DESIGN CODE VERSION:	2023.2
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Alexander Stamatopoulos Development Planner
REFERRALS STATUTORY:	Nil
REFERRALS NON-STATUTORY:	Nil

#### CONTENTS:

APPENDIX 1:	Relevant P&D Code Policies
ATTACHMENT 1:	Application Documents

### DETAILED DESCRIPTION OF PROPOSAL:

The application seeks approval for single storey additions to an existing dwelling. The additions are located to the east and west of the existing dwelling and contain walls located on the southern rear boundary. The eastern addition contains a modest footprint comprising an ensuite to an existing bedroom. The western addition will host a kitchen that will result in open living areas. The existing internal layout of the dwelling will be altered to suit the additional living areas. The front wall associated with bedroom 3 will be raised to increase the ceiling height to match the existing dwelling.

### SUBJECT LAND & LOCALITY:

#### Site Description:

**Location reference:** UNIT 1 44 AUGUSTA ST GLENELG EAST SA 5045

**Title ref.:** CT 6121/499    **Plan Parcel:** S12796 UN1    **Council:** CITY OF HOLDFAST BAY

The subject site hosts a detached dwelling that contains a primary frontage to Augusta Street and a Secondary Frontage to First Avenue. The width of the site is 18.1m and it contains a depth of 22.36m resulting in a total site area of 404sqm. The circumstance of the dwelling is unique where what was the rear yard was divided and three units were constructed.

The aerial images below shown the subject dwelling in 1949 (Left) which shows a single dwelling and 2022 (Right) where the units have been constructed.



The photos below show photos of the dwelling from the public realm:



**Above:** Dwelling viewed from Augusta Street

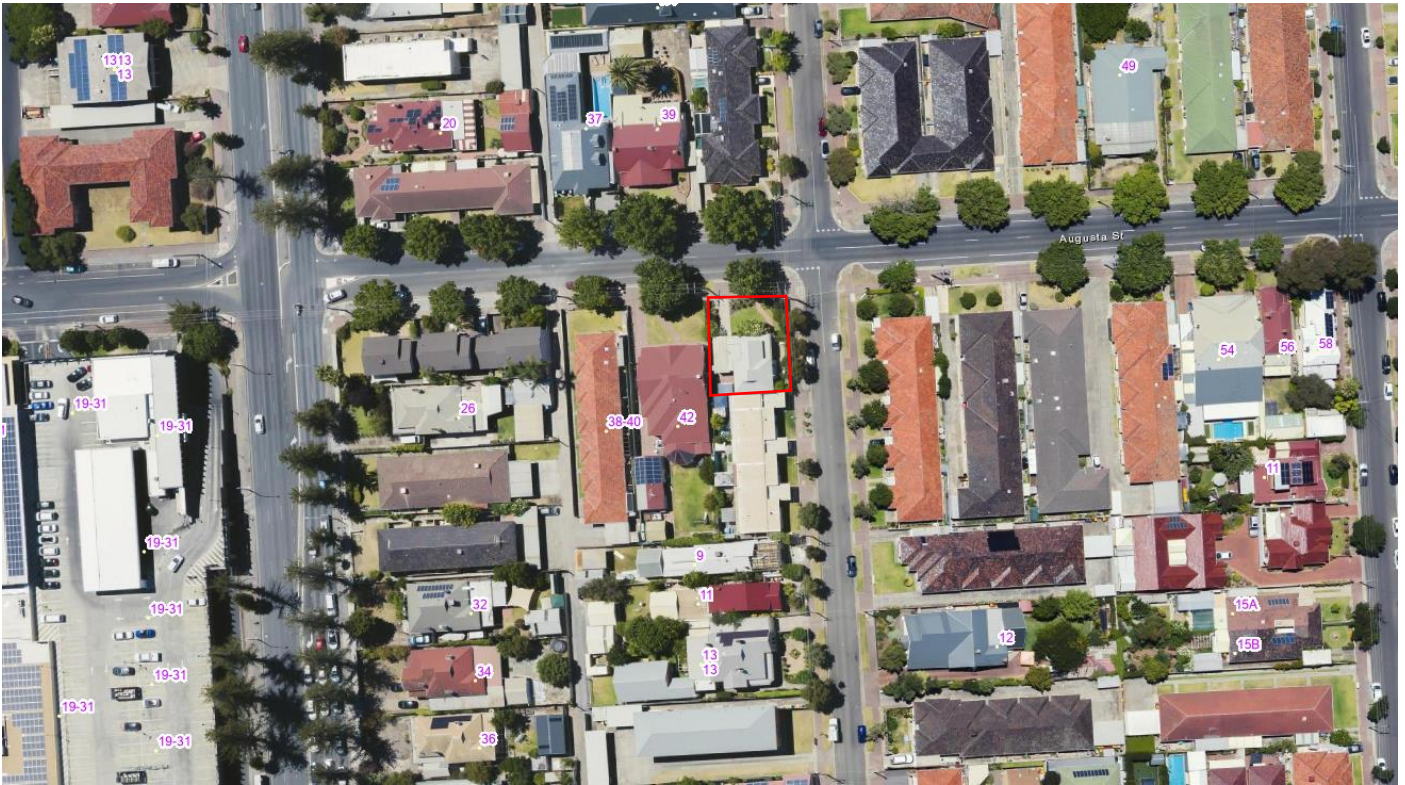
**Below:** Dwelling and units viewed from First Avenue



The character area features predominantly detached dwellings on medium to large sized allotments, set within heavily landscaped settings and mature street trees that collectively create very high quality, low-density living environments.



The majority of dwellings were constructed between the 1900s and 1930s. Dwelling configuration is typically double or triple fronted with driveway access down one side of the site and a small set back from the non-driveway side boundary. Street setbacks are typically 8 metres from primary road frontages with lesser setbacks to the secondary frontages of corner allotments. The locality surrounding the subject site contains a mixture of dwellings comprised of few examples of detached dwellings and multiple single storey residential flat buildings.



**Above:** Aerial of the locality with the subject site highlighted in red.

#### CONSENT TYPE REQUIRED:

Planning Consent

#### CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**  
Dwelling alteration or addition  
Dwelling addition: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**  
Code Assessed - Performance Assessed
- **REASON**  
P&D Code

#### PUBLIC NOTIFICATION

- **REASON**  
The height of the proposed boundary wall exceeds 3.2m measured from the lower of the natural or finished ground level.

- LIST OF REPRESENTATION**

Nil

**AGENCY REFERRALS**

Nil

**INTERNAL REFERRALS**

Nil

**PLANNING ASSESSMENT**

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

**Quantitative Provisions**

	Proposed	DPF Requirement	Achieved
<b>Building Height</b>	One level	One level	Yes
<b>Boundary Development</b>	2.46m length (Ensuite) & 3.6m length (Kitchen)	8m	Yes
	75% of total boundary	45% of total boundary length	No
	3.45m (Ensuite) & 3.9m (Kitchen) from natural ground level	3.2m height from natural ground level	No
<b>Rear Setback</b>	Walls located on rear boundary	4 metres at ground level	No
<b>Side Setbacks</b>	Kitchen addition 2.2m Garage 1.1m	other than for a south facing wall, at least 900mm plus 1/3 of the wall height above 3m	Yes
<b>Secondary Setback</b>	1.1m	900mm	Yes
<b>Site Coverage</b>	42%	50%	Yes
<b>Private Open Space</b>	47 square meters	60 square metres	No
<b>Soft Landscaping</b>	32%	20% of the site area	Yes
<b>Crossover</b>	5m	5m	Yes

**Built Form**

The Character Area Overlay anticipates additions to existing dwelling to not adversely impact on streetscape character. New built form to existing dwellings should contain architectural styles and detailing that is consistent with the prevailing characteristics in the character area.

The current kitchen area of the dwelling finds itself in an unusual location under the front verandah. The photos below show how the verandah has been infilled to accommodate additional internal floor area.



The infill of the verandah has resulted in the internal ceiling height of the kitchen area being the same as the verandah which is impractical for an internal living space. The internal ceiling of bedroom 3 (currently the kitchen) has been raised to match the existing living areas of the dwelling. As a result, an additional gable end is incorporated into the façade of the dwelling.

The additional gable is consistent with the architectural styles of the Character Statement where steep 30 degree pitched roofing is anticipated along with hip and gable roof forms. Further, the design is consistent with the established built form on the northern and southern side of Augusta Street where multiple examples of homes with gable ends front the street. The garage contains a parapet design and is ancillary to the dwelling and will not unreasonably dominate the façade. The use of Scyon Cladding is common as a secondary material to character style homes.

### Boundary Development and Rear Setback

The quantitative assessment identified that the percentage of the total boundary length on the southern rear boundary exceeded the 45% requirements and also the height of the boundary walls. PO and DPF 6.1 is the relevant policy for boundary development of the Established Neighbourhood Zone.

#### *PO 7.1*

*Dwelling boundary walls are limited in height and length to manage visual and overshadowing impacts on adjoining properties.*

#### *DTS/DPF 7.1*

*Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in below:*

*(a)*

*or*

*(b) where no side boundary setback value is returned in (a) above, and except where the dwelling is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:*

- i. side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height*
- ii. side boundary walls do not:*
  - A. exceed 3.2m in height from the lower of the natural or finished ground level*
  - B. exceed 8m in length*
  - C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary*
  - D. encroach within 3m of any other existing or proposed boundary walls on the subject land.*

The circumstances of the original dwelling contribute to the surplus of boundary wall length on the southern boundary. The existing dwelling wall is located on the southern side boundary where the wall of the northernmost unit abuts it. The majority of the dwelling wall is screened by the existing unit and also the carport. The length of the walls being 2.46m length (Ensuite) and 3.6m length (Kitchen) are considered to be modest and when considering the existing boundary length of the dwelling.



The height of the boundary walls are 3.5m (Ensuite) & 4.3m (Kitchen) from natural ground level. Despite the numerical shortfalls the impacts are considered to be minor. The ensuite wall will be located adjacent to the carport and driveway of the southern neighbour which will screen the majority of the built form minimising visual impacts.



**Above:** View of the neighbouring unit and carport where the ensuite will sit adjacent

The site was inspected to review any potential impact the kitchen boundary wall may have to the southern neighbour. The photos below are taken from the site looking south into the rear yard of the southern property.







The photos above show that the addition wall will be adjacent to the existing verandah which contains an enclosed structure and also a small shed. While this area is the private open space of the unit it is not considered to be of high amenity value but more a service area.



## Private Open Space

## CONCLUSION

The additions are welcomed to the dwelling and will provide much-needed additional floor space. While quantitative shortfalls were noted the overall impacts to the immediate locality are considered to be negligible. The façade of the dwelling compliments the existing streetscape and contains design elements anticipated by the Character Statement.

**RECOMMENDATION**

Planning consent

It is recommended that the Council Assessment Panel resolve that:

1. Pursuant to Section 107(2)(c) of the Planning, Development and Infrastructure Act 2016, and having undertaken an assessment of the application against the Planning and Design Code, the application is NOT seriously at variance with the provisions of the Planning and Design Code; and
2. Development Application Number 23003491, by BTF Constructions Pty Ltd is granted Planning Consent subject to the following conditions:

**CONDITIONS**

Planning Consent

1. The development granted approval shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).
2. The stormwater disposal system shall cater for a 5 year rainfall event with discharge to the street not to exceed 10 litres per second. Any excess above this flow is to be detained on site.

**OFFICER MAKING RECOMMENDATION**

**Name:** Alexander Stamatopoulos

**Title:** Development Planner

**Date:** 03/05/2023